

# PROPOSED SITE RE-DEVELOPMENT PLANS

for

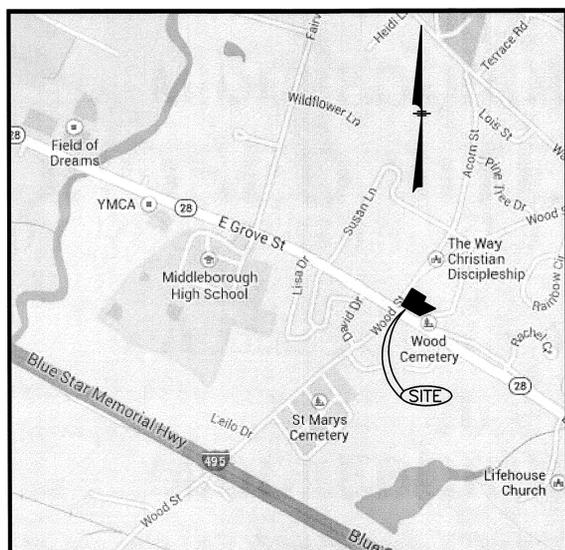
ASSESSORS MAP 65 - LOTS 299, 372 & 1112

90 EAST GROVE STREET  
MIDDLEBOROUGH, MASSACHUSETTS 02346

Prepared for:



100 CROSSING BLVD, FRAMINGHAM, MASSACHUSETTS 01702



**LOCATION MAP**  
(NOT TO SCALE)

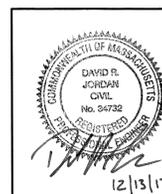
### INDEX TO DRAWINGS

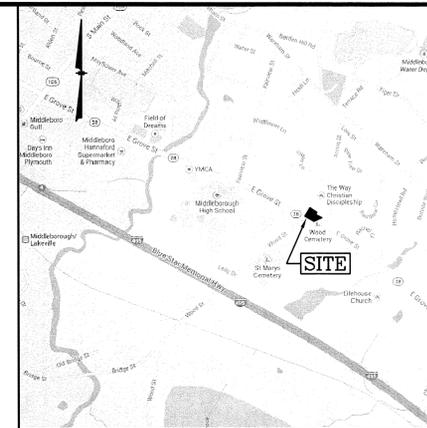
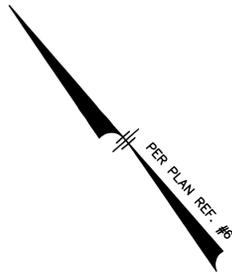
CFG1.0	TITLE SHEET
CFG2.0	EXISTING CONDITIONS PLAN
CFG3.0	DEMOLITION PLAN
CFG4.0	SITE PLAN
CFG5.0	GRADING & DRAINAGE PLAN
CFG6.0	EROSION CONTROL PLAN
CFG7.0	UTILITIES PLAN
CFG8.0	LANDSCAPE PLAN
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CFG9.1	DETAIL SHEET
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CFG12.0	PROPOSED CANOPY ELEVATIONS
CFG13.0	PROPOSED SIGN DRAWING
CFG16.0	TRUCK TURN PLAN (TTP)
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A3.2	EXTERIOR ELEVATIONS (AHARONIAN) *
A1.1	FLOOR PLAN & PARTITION TYPES *

\* ARCHITECTURAL PLANS FOR PERMITTING USE ONLY.  
CONTRACTOR TO REFER TO STAMPED, SIGNED, SEALED  
PLANS LABELED "FOR CONSTRUCTION".

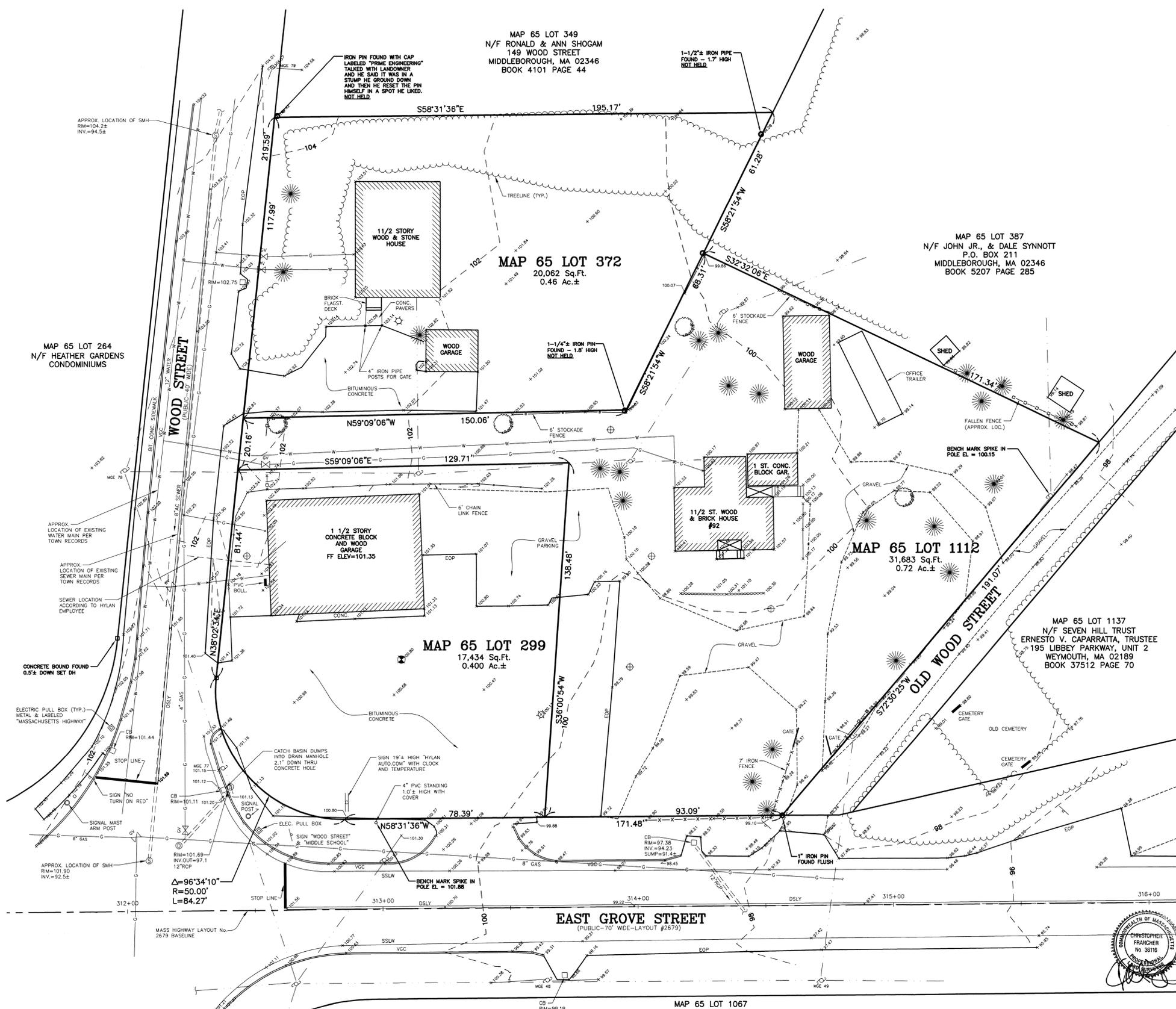
	44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com
	90 EAST GROVE STREET MIDDLEBOROUGH, MA
SCALE: NTS DATE: DECEMBER 9, 2013 FILE: 3347CVR.dwg DRAWN BY: RGW CHECKED BY:	CUMBERLAND FARMS INC. 100 CROSSING BLVD. FRAMINGHAM, MA 01702
TITLE SHEET	CFG1.0

REVISIONS			69,179 SQUARE FEET
DATE	REV. BY.	DESCRIPTION	
			1.588± ACRES
			V #X
			Store #X
			Facility #X





LOCATION MAP (NOT TO SCALE)



- NOTES:**
- 1) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
  - 2) ELEVATIONS SHOWN HEREON ARE ON USGS 1983 NAVD. CURB ELEVATIONS SHOWN ARE AT THE "TOE" OF CURB. CURBS ARE 0.50'± HIGH.
  - 3) REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE #NCS-610546-HOU1; EFFECTIVE DATE: 6/6/13 (MAP 65 LOT 299 ONLY).

- PLAN REFERENCES:**
- 1) PLYMOUTH COUNTY REGISTRY OF DEEDS (P.C.R.D.) PLAN BOOK 47 PLAN 506.
  - 2) P.C.R.D. PLAN BOOK 39 PLAN 911.
  - 3) P.C.R.D. PLAN BOOK 37 PLAN 1038.
  - 4) P.C.R.D. PLAN BOOK 27 PLAN 278.
  - 5) P.C.R.D. BOOK 3444 PAGE 552.
  - 6) 1930 MASS HIGHWAY LAYOUT #2679 (SHEETS 23-25 OF 30).

- CERTIFICATIONS:**
- 1) I CERTIFY THAT THIS SURVEY PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE WAYS ALREADY ESTABLISHED, THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
  - 2) I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.
  - 3) I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

CHRISTOPHER FRANCHER, P.L.S. 12/13/13  
DATE

**EXISTING CONDITIONS PLAN**

ASSESSORS MAP 65 - LOTS 299, 372 & 1112  
90 EAST GROVE STREET  
MIDDLEBOROUGH, MASSACHUSETTS 02346

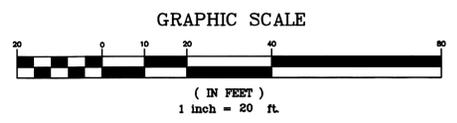
PREPARED FOR:  
**CUMBERLAND FARMS GROUP**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MASSACHUSETTS 01702

44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS

SCALE: 1" = 20'	DATE: DECEMBER 9, 2013	DRAWING NO. 3347TWS.DWG
DRAWN BY: DH	CHECKED BY: CMF	PROJECT NO. 334713
		SHEET NO. CFG2.0

**LEGEND**

	OVERHEAD SERVICE WIRES		UTILITY POLE
	DOUBLE SOLID LINE YELLOW		DRAIN MANHOLE
	SINGLE SOLID LINE WHITE		SEWER MANHOLE
	SIGN		TELEPHONE MANHOLE
	OBSERVATION WELL		CATCH BASIN
	WATER LINE		WATER VALVE
	SPOT ELEVATION		FIRE HYDRANT
	CONTOUR ELEVATION		GAS VALVE
			GAS LINE

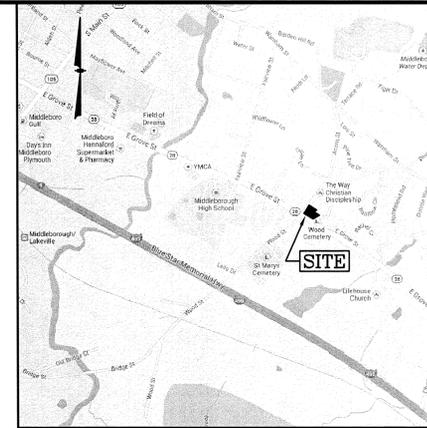
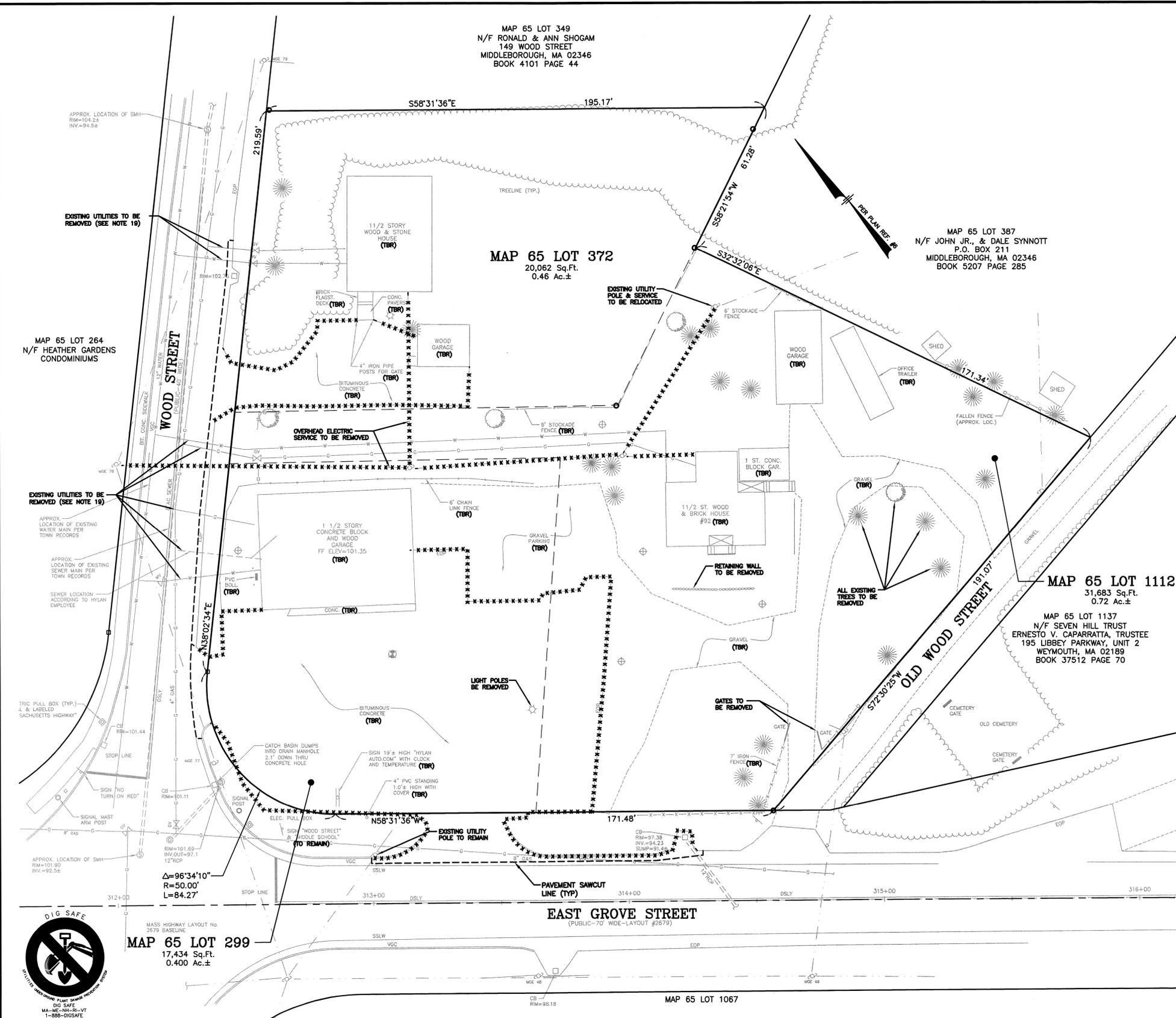


**OWNERS OF RECORD:**

MAP 65 LOT 299 TOMI, LLC C/O HYLAN AUTO SALES 90 EAST GROVE STREET MIDDLEBOROUGH, MA 02346 BOOK 32570 PAGE 63	MAP 65 LOT 372 EUGENE & CAROLINE WELDON 147 WOOD STREET MIDDLEBOROUGH, MA 02346 BOOK 10506 PAGE 2	MAP 65 LOT 1112 92 EAST GROVE STREET TRUST BRENDA J. WALANIS, TRUSTEE 92 EAST GROVE STREET MIDDLEBOROUGH, MA 02346 BOOK 38430 PAGE 87
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NO.	DESCRIPTION	BY	DATE

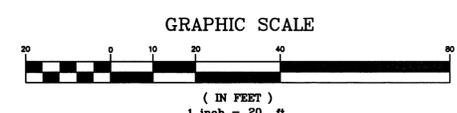
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**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWN OF MIDDLEBOROUGH PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS.
- 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO TOWN OF MIDDLEBOROUGH AND MASS DOT STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 19) ALL EXISTING UTILITY SERVICES TO LOTS 299, 372 & 1112 SHALL BE DISCONNECTED AND/OR REMOVED IN ACCORDANCE WITH THE TOWN OF MIDDLEBOROUGH DEPARTMENT OF PUBLIC WORKS.



**LEGEND**

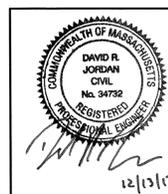
⊕	UTILITY POLE	—	OVERHEAD SERVICE WIRES
⊙	DRAIN MANHOLE	—	DOUBLE SOLID YELLOW LINE
⊙	SEWER MANHOLE	—	SINGLE SOLID WHITE LINE
⊙	TELEPHONE MANHOLE	⊕	SIGN
⊙	CATCH BASIN	⊕	OBSERVATION WELL
—	WATER LINE	—	TREELINE
—	WATER VALVE	—	CONTOUR ELEVATION
—	FIRE HYDRANT	—	GAS LINE
—	GAS VALVE	(TBR)	TO BE REMOVED
—		*****	TO BE REMOVED

**OWNERS OF RECORD:**

MAP 65 LOT 299  
TOMI, LLC  
C/O HYLAN AUTO SALES  
90 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 32570 PAGE 63

MAP 65 LOT 372  
EUGENE & CAROLINE WELDON  
147 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 10506 PAGE 2

MAP 65 LOT 1112  
92 EAST GROVE STREET TRUST  
BRENDA J. WALANIS, TRUSTEE  
92 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 38430 PAGE 87



REVISIONS		
DATE	REV. BY	DESCRIPTION

69,179 SQUARE FEET  
1.588± ACRES  
V #X  
Store #X  
Gas Station#  
Facility #X

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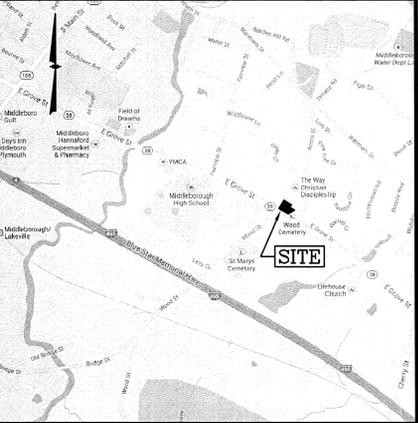
**Cumberland Farms**  
CUMBERLAND FARMS INC.  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

**DEMOLITION PLAN**  
SCALE: 1" = 20'  
DATE: DECEMBER 9, 2013  
FILE: 33475P.dwg  
DRAWN BY: MHF  
CHECKED BY:  
CFG3.0

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TABLE OF ZONING REGULATIONS - MIDDLEBOROUGH, MA

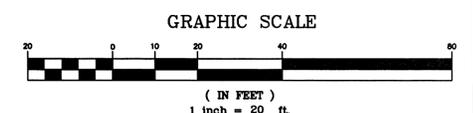
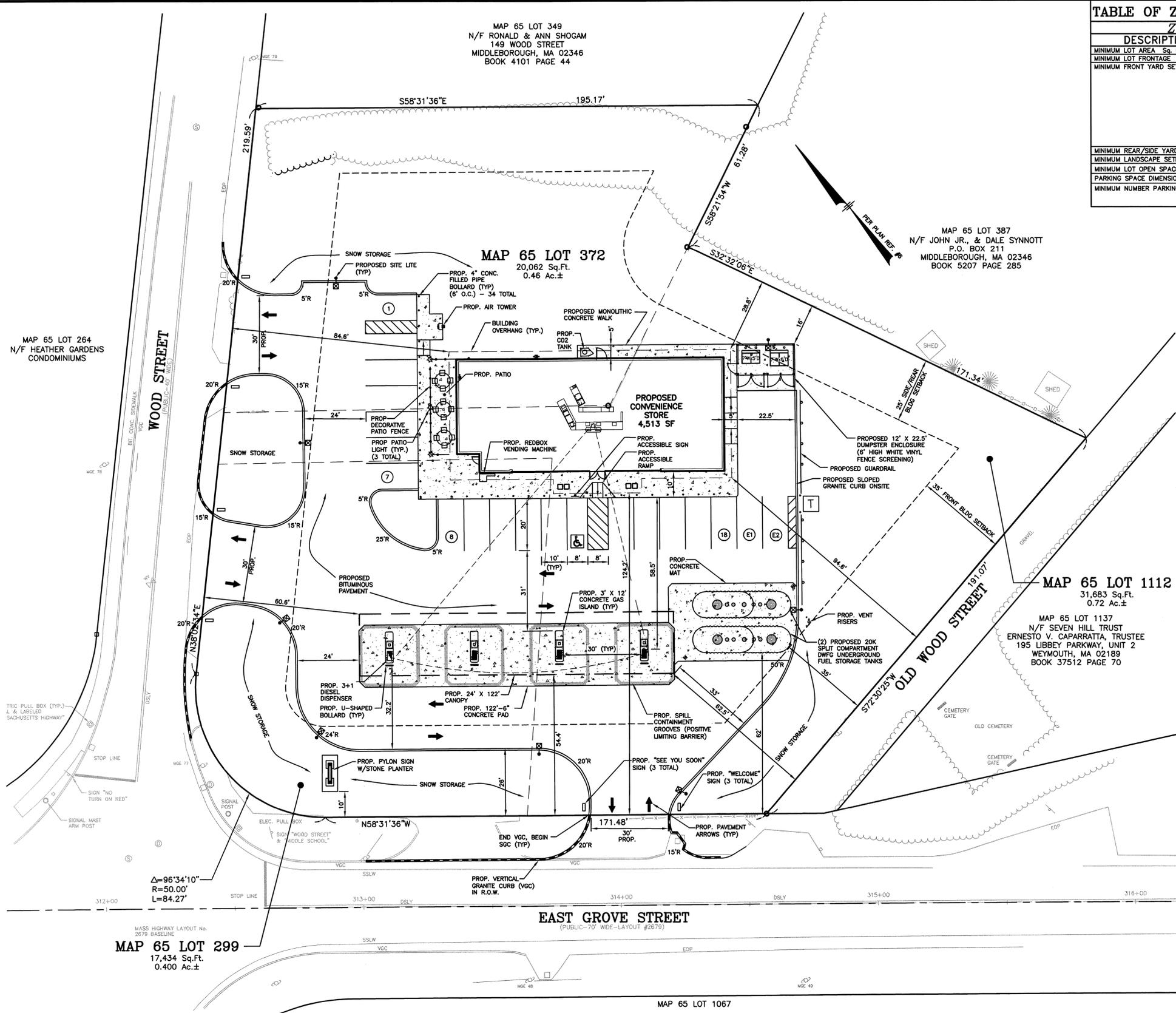
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	NONE	69,179± Sq. Ft.
MINIMUM LOT FRONTAGE	75'	475.34' ALONG WOOD & EAST GROVE STREETS
MINIMUM FRONT YARD SETBACK	35'	EAST GROVE ST. 124.2' (BUILDING) 54.4' (CANOPY)
		WOOD ST. 84.6' (BUILDING) 60.6' (CANOPY)
		OLD WOOD ST. 94.6' (BUILDING) 62.5' (CANOPY)
MINIMUM REAR/SIDE YARD SETBACK	25'	28.8'
MINIMUM LANDSCAPE SETBACK	25' FRONT, 15' SIDE/REAR	26' FRONT, 16' SIDE/REAR
MINIMUM LOT OPEN SPACE	40% (27,672 SF)	51.7% (35,793 SF)
PARKING SPACE DIMENSIONS	10' X 20'	10' X 20'
MINIMUM NUMBER PARKING SPACES	1 SPACE/250 SF (GFA) 4,513 SF X 1 SP/250 SF = 18 SP. REQ.	20 SPACES (INCLUDING 2 EMPLOYEE SPACES AND EXCLUDES PARKING AT DISPENSERS)



LOCATION MAP (NOT TO SCALE)

NOTES:

- THE BOUNDARY INFORMATION SHOWN HEREON FOR MAP 065 LOTS 299, 372, & 1112 IS THE RESULT OF A STANDARD BOUNDARY SURVEY PREPARED BY THIS OFFICE, DATED FEBRUARY 5, 2013. ONSITE TOPOGRAPHIC INFORMATION PREPARED BY THIS OFFICE.
- ASSESSORS MAP 065 LOTS 299, 372, & 1112
- ZONING DISTRICT: GENERAL USE (GU)
- LOT AREA = 69,179 Sq.Ft. = 1.59Ac.±
- EXISTING USE: SINGLE FAMILY DWELLINGS & HYLAN AUTO SALES.
- PROPOSED USE: RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 4,513 SF CONVENIENCE STORE AND A FUEL DISPENSING AREA WITH 4 DISPENSERS (8 FUELING POSITIONS) AND AN OVERHEAD CANOPY. FACILITY TO BE OPEN 24 HOURS A DAY.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MIDDLEBOROUGH AND THE COMMONWEALTH OF MASSACHUSETTS.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY CUMBERLAND FARMS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
- ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISLES.
- ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON PROPERTY.
- THE APPLICANT HAS DESIGNED THIS SITE TO SAFELY ACCOMMODATE MAXIMUM LENGTH VEHICLES AND TRUCKS, EITHER DELIVERING TO, OR USING THE FACILITY.
- ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY.
- EXISTING IMPERVIOUS/GRAVEL COVERAGE: 30,304 SF (43.8%)  
PROPOSED IMPERVIOUS COVERAGE: 33,377 SF± (48.2%)



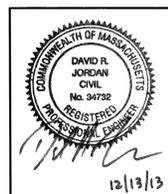
**LEGEND**

OVERHEAD SERVICE WIRES	UTILITY POLE
VERTICAL GRANITE CURB	DRAIN MANHOLE
VERTICAL CONCRETE CURB	SEWER MANHOLE
SIGN	TELEPHONE MANHOLE
OBSERVATION WELL	CATCH BASIN
SPOT ELEVATION	WATER LINE
CONTOUR ELEVATION	GAS LINE
LANDSCAPED	GAS VALVE
UNDERGROUND ELECTRIC	WATER VALVE
POST AND RAIL FENCE	FIRE HYDRANT



OWNERS OF RECORD:

- MAP 65 LOT 299: TOMI, LLC, C/O HYLAN AUTO SALES, 90 EAST GROVE STREET, MIDDLEBOROUGH, MA 02346, BOOK 32570 PAGE 63
- MAP 65 LOT 372: EUGENE & CAROLINE WELDON, 147 WOOD STREET, MIDDLEBOROUGH, MA 02346, BOOK 10506 PAGE 2
- MAP 65 LOT 1112: BRENDA J. WALANIS, TRUSTEE, 92 EAST GROVE STREET, MIDDLEBOROUGH, MA 02346, BOOK 38430 PAGE 87



DATE	REV. BY	DESCRIPTION

69,179 SQUARE FEET  
1.588± ACRES  
V #X  
Store #X  
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**Cumberland Farms**  
CUMBERLAND FARMS INC.  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

**SITE PLAN**  
SCALE: 1" = 20'  
DATE: DECEMBER 9, 2013  
FILE: 3347SP.dwg  
DRAWN BY: MHF  
CHECKED BY:  
CFG4.0

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MAP 65 LOT 349  
N/F RONALD & ANN SHOGAM  
149 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 4101 PAGE 44

MAP 65 LOT 372  
20,062 Sq.Ft.  
0.46 Ac.±

MAP 65 LOT 387  
N/F JOHN JR., & DALE SYNNOTT  
P.O. BOX 211  
MIDDLEBOROUGH, MA 02346  
BOOK 5207 PAGE 285

MAP 65 LOT 1112  
31,683 Sq.Ft.  
0.72 Ac.±

MAP 65 LOT 1137  
N/F SEVEN HILL TRUST  
ERNESTO V. CAPARRATA, TRUSTEE  
195 LIBBEY PARKWAY, UNIT 2  
WEYMOUTH, MA 02189  
BOOK 37512 PAGE 70

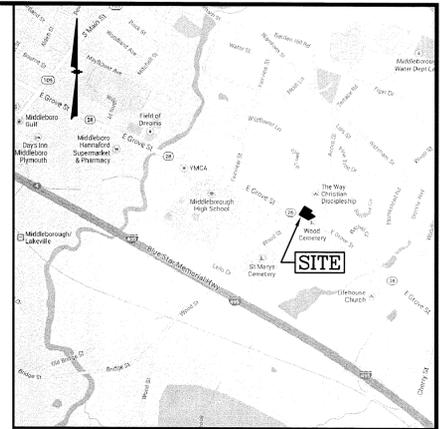
MAP 65 LOT 299  
17,434 Sq.Ft.  
0.400 Ac.±

**DRAINAGE STRUCTURES**

- CB-1  
RIM=99.00  
INV.OUT=95.50
- CB-2  
RIM=100.35  
INV.OUT=98.35
- CB-3  
RIM=99.50  
INV.IN=97.00 (RD & OCS#2)  
INV. OUT=97.00
- CB-4  
RIM=100.10  
INV.OUT=98.10
- DMH-1  
RIM=99.20  
INV.IN=95.45  
INV.OUT=95.50(12")
- DMH-2 (STC)  
RIM=100.20  
INV.S IN=96.00  
INV.OUT=95.75
- DMH-3  
RIM=100.00  
INV.IN=94.90  
INV.OUT=94.80
- OUTLET CONTROL STRUCTURE #1  
(OCS-1)  
RIM=98.50  
INV.IN=95.50  
INV.OUT=95.50  
(SEE DETAIL SHEET)
- OUTLET CONTROL STRUCTURE #2  
(OCS-2)  
RIM=101.40  
INV.IN=98.25  
INV.OUT=98.25  
(SEE DETAIL SHEET)
- (STC)=STORMCEPTOR

**DRAINAGE PIPE SCHEDULE**

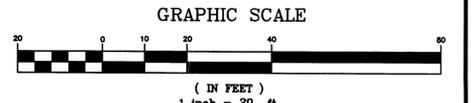
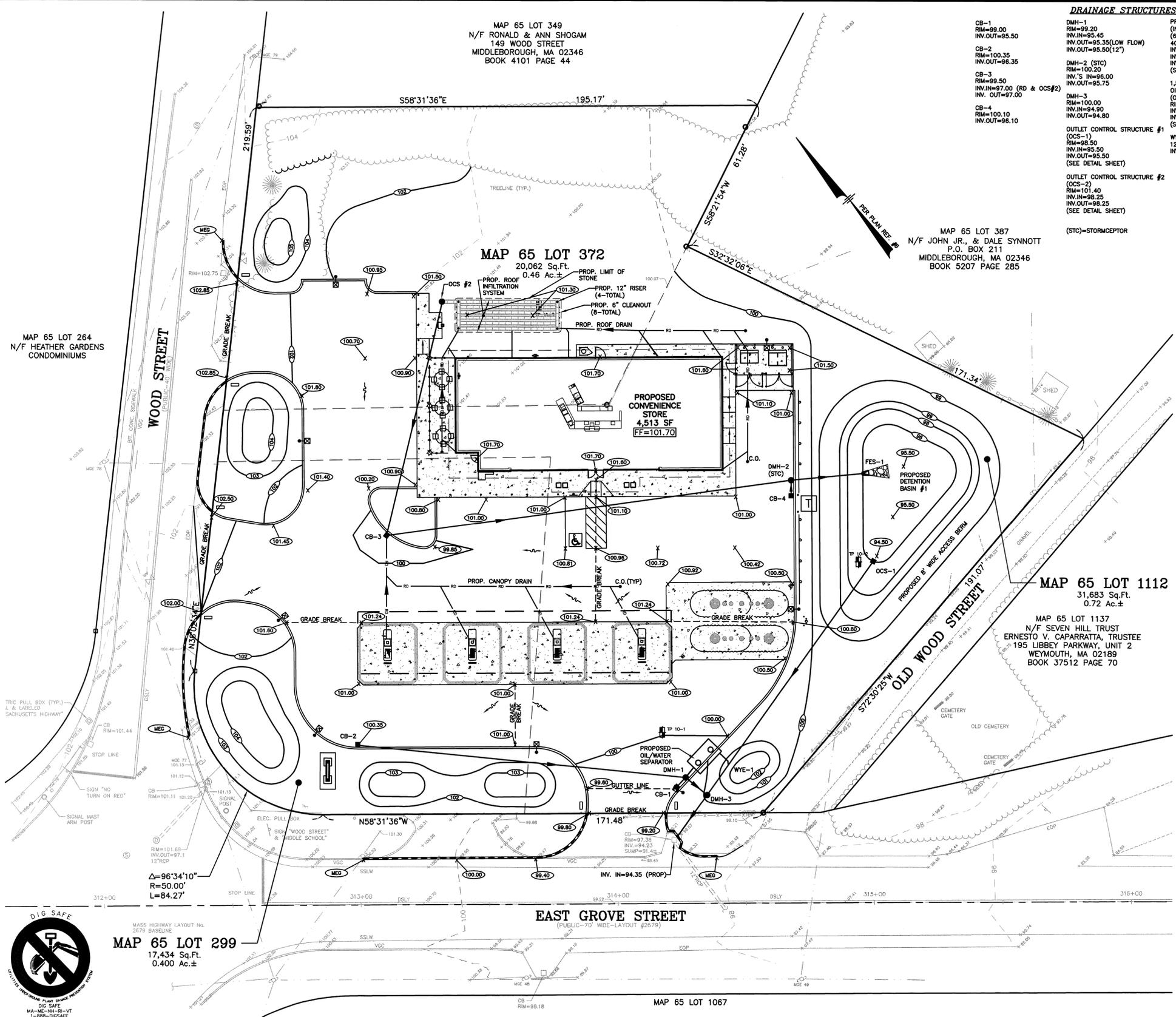
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STRUCTURE NUMBER	STRUCTURE NUMBER
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CB-2	DMH-1
DMH-1	O/W SEP
DMH-1	DMH-3
O/W SEP	WYE-1
OCS-1	WYE-1
DMH-3	EX. CB
OCS-2	CB-3
CB-3	DMH-2
DMH-2	FES-1



**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC(SDR-35).
- 3) ELEVATIONS ARE BASED ON USGS 1983 NAVD DATUM.
- 4) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 5) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 6) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 9) THIS SITE WILL NOT REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE DOES NOT EXCEED ONE ACRE (ACTUAL DISTURBANCE = 42,000 SF).
- 10) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO MASS DOT AND MIDDLEBOROUGH DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 11) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMP CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE. AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 12) SEE UTILITIES PLAN FOR DETAILED UTILITY LAYOUT.
- 13) CONTRACTOR IS TO FIELD ADJUST GRADES FOR THE TANK PAD TO SHED WATER.
- 14) CONTRACTOR TO REFER TO THE INSPECTION & MAINTENANCE MANUAL FOR STORMWATER MANAGEMENT SYSTEMS DURING AND AFTER CONSTRUCTION.
- 15) ONSITE CATCH BASINS SHALL HAVE 4' DEEP SUMPS AND HOODED OUTLET TEES.

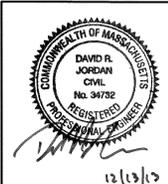


**LEGEND**

OVERHEAD SERVICE WIRES	UTILITY POLE	PROP. CONTOUR ELEVATION
VERTICAL GRANITE CURB	DRAIN MANHOLE	PROP. SILT FENCE
VERTICAL CONCRETE CURB	SEWER MANHOLE	PROP. CLEANOUT
SIGN	TELEPHONE MANHOLE	CB-1 PROP. CATCH BASIN
OBSERVATION WELL	CATCH BASIN	DMH-1 PROP. DRAIN MANHOLE
SPOT ELEVATION	WATER LINE	SMH-1 PROP. SEWER MANHOLE
CONTOUR ELEVATION	GAS LINE	MEET EXISTING GRADE
LANDSCAPED	GAS VALVE	PROP. SPOT ELEVATION
UNDERGROUND ELECTRIC	WATER VALVE	
POST AND RAIL FENCE	FIRE HYDRANT	

**OWNERS OF RECORD:**

- MAP 65 LOT 299  
TOMI, LLC  
C/O Hylan Auto Sales  
MIDDLEBOROUGH, MA 02346  
BOOK 32570 PAGE 63
- MAP 65 LOT 372  
EUGENE & CAROLINE WELDON  
147 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 10506 PAGE 2
- MAP 65 LOT 1112  
92 EAST GROVE STREET TRUST  
BRENDA J. WALANIS, TRUSTEE  
92 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 38430 PAGE 87



**REVISIONS**

DATE	REV. BY.	DESCRIPTION

69,179 SQUARE FEET  
1.588± ACRES  
V #X  
Store #X  
Gas Station#  
Facility #X

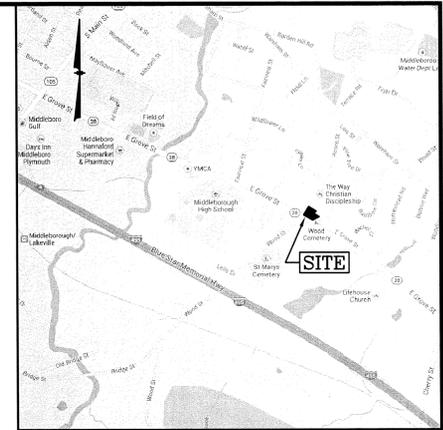
**MHF Design Consultants, Inc.**  
44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
www.mhfdesign.com

**Cumberland Farms Inc.**  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

DATE: DECEMBER 9, 2013  
FILE: 3347SP.dwg  
DRAWN BY: MHF  
CHECKED BY: CFG5.0

**GRADING & DRAINAGE PLAN**

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**LOCATION MAP**  
(NOT TO SCALE)

**OPERATIONS/MAINTENANCE PLAN FOR STORMWATER SYSTEM**

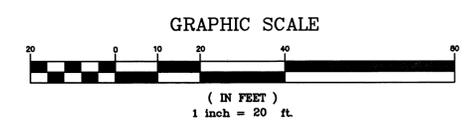
**CONSTRUCTION PHASE:**  
THE BMP'S ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY CUMBERLAND FARMS, INC. WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION AND MAINTENANCE.

- 1) THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE SITE PLANS BY MHF DESIGN CONSULTANTS, INC.
- 2) PRIOR TO CONSTRUCTION, ALL EROSION/SILT CONTROL DEVICES SHOWN ON ABOVE PLAN ARE TO BE INSTALLED TO PREVENT SILT INTRUSION INTO SURROUNDING AREAS DURING CONSTRUCTION. THE CONTRACTOR IS TO SET SILT FENCING AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES OR ADJUTING PROPERTY. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- 3) ALL CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY INSPECTORS FROM THE TOWN OF MIDDLEBOROUGH AND BY AN AUTHORIZED AGENT TO VERIFY CONFORMANCE TO THE DESIGN PLAN.
- 4) THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS:
  - A) CLEAR, GRUB, EXCAVATE AREAS FOR DETENTION SYSTEMS.
  - B) INSTALL CATCH BASINS, PIPES AND MANHOLES.
- 5) EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A DAILY BASIS. UPON DISCOVERY OF SILTATION BUILD-UP IN ANY CATCH BASIN SUMP OR ANY OTHER STRUCTURE, CLEANING SHALL BE PERFORMED WITHIN 24 HOURS.
- 6) ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY.
- 7) UPON INSTALLATION OF CATCH BASINS, INLET PROTECTION -- AS DESCRIBED ON AFOREMENTIONED PLAN -- SHALL BE INSTALLED AND MAINTAINED UNTIL READY FOR PAVING.
- 8) PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A DAILY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
- 9) AFTER PAVING IS INSTALLED, IT SHALL BE SWEEP CLEAN ON A MONTHLY BASIS.
- 10) INSPECTIONS ARE TO BE PERFORMED AND INSPECTION LOGS FILLED OUT ON A WEEKLY BASIS FROM THE START OF CONSTRUCTION THROUGH FINAL STABILIZATION. THE START OF CONSTRUCTION MEANS THE INITIAL DISTURBANCE OF SOILS ASSOCIATED WITH CONSTRUCTION. FINAL STABILIZATION MEANS 70% VEGETATIVE GROWTH FOR UNPAVED AREAS.

**POST CONSTRUCTION PHASE:**  
THE OWNER IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRUCTURES IN THE PROJECT -- INCLUDING DRAIN PIPES AND DRAINAGE SYSTEM. THE FUTURE OWNER IS EXPECTED TO BE CUMBERLAND FARMS, INC. WHO WILL ULTIMATELY BE RESPONSIBLE FOR COMPLIANCE WITH PLAN.

**REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:**

- 1) INSPECTION OF ALL DRAINAGE FACILITIES (CATCH BASINS, MANHOLES & DETENTION SYSTEM) EVERY THREE MONTHS. DURING THE FIRST YEAR OF OPERATION, ALL DRAINAGE FACILITIES SHOULD BE INSPECTED AFTER EVERY STORM AND 2-3 DAYS AFTERWARD. DURING THESE INSPECTIONS, THE INSPECTOR AS DESIGNATED BY CUMBERLAND FARMS, INC. SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS), AND IMPROPER FUNCTION. REPORTS SHALL BE FILED FOR EVERY INSPECTION AND SUBMITTED TO THE TOWN ENGINEER FOR COMPLIANCE FOR ONE (1) YEAR AFTER THE ISSUANCE OF THE OCCUPANCY PERMIT OR UNTIL DEEMED NECESSARY BY THE TOWN ENGINEER.
- 2) AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE INSPECTOR SHALL NOTIFY THE DEVELOPER, WHO SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND SEDIMENT REMOVAL.
- 3) PARKING AREAS ARE TO BE SWEEP CLEAN EVERY MONTH SPRING THROUGH FALL AND OTHERWISE AS NEEDED (I.E. VISUALLY NOTICEABLE DEBRIS BUILD-UP).
- 4) THE CATCH BASINS AND DRAINAGE SYSTEM ARE TO BE INSPECTED EVERY THREE MONTHS. REMOVE OIL, DEBRIS AND SEDIMENT AFTER INSPECTIONS.
- 5) ALL GRADED SLOPES SHALL BE INSPECTED EVERY SPRING FOR EROSION. UPON DISCOVERY OF ANY FAILURE (I.E. EROSION) LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.
- 6) DURING THE WINTER MONTHS, ALL SNOW IS TO BE STORED SUCH THAT SNOWMELT IS CONTROLLED. IN THE EVENT THE AMOUNT OF SNOW EXCEEDS SUCH CAPACITY, IT IS TO BE REMOVED OFF-SITE. THE MINIMUM AMOUNT OF DEICING CHEMICALS NEEDED IS TO BE USED.
- 7) DURING THE SUMMER MONTHS, ALL LANDSCAPE FEATURES ARE TO BE MAINTAINED WITH THE MINIMUM POSSIBLE AMOUNT OF FERTILIZERS, PESTICIDES OR HERBICIDES. IF IN QUESTION, MAINTENANCE PERSONNEL SHOULD CHECK WITH THE CONSERVATION COMMISSION. ALL PERSONNEL INVOLVED WITH THE MAINTENANCE OF LANDSCAPING WILL BE INFORMED OF THIS CONDITION.

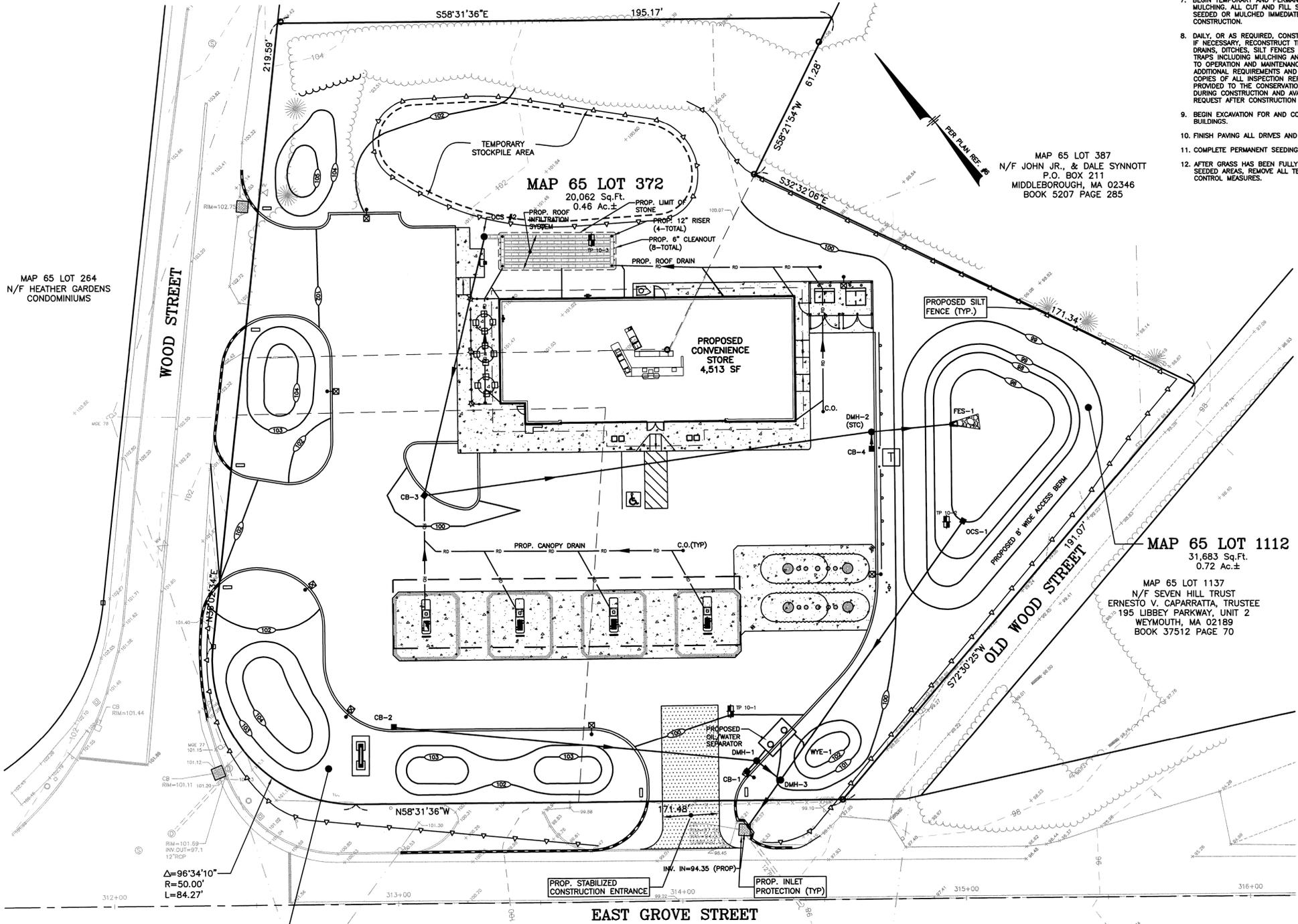


**CONSTRUCTION SEQUENCE:**

1. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
2. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
3. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
4. CONSTRUCT CLOSED DRAINAGE SYSTEM AND DETENTION PONDS. PROTECT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
5. PERFORM SITE GRADING, PLACING SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
6. INSTALL UNDERGROUND UTILITIES.
7. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
8. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. REFER TO OPERATION AND MAINTENANCE PLAN FOR ADDITIONAL REQUIREMENTS AND INFORMATION. COPIES OF ALL INSPECTION REPORTS ARE TO BE PROVIDED TO THE CONSERVATION COMMISSION DURING CONSTRUCTION AND AVAILABLE UPON REQUEST AFTER CONSTRUCTION IS COMPLETED.
9. BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.
10. FINISH PAVING ALL DRIVES AND PARKING AREAS.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
12. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**TEMPORARY EROSION CONTROL MEASURES:**

- 1) SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 2) MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 3) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 4) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 5) ALL DISTURBED AREAS SHALL BE LOAMED AND SEED. A MINIMUM OF 6 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 6) SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (GREENING), KENTUCKY BLUEGRASS, REDTOP, PERENNIAL RYEGRASS.
- 7) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 8) PAVED ROADWAYS AND PARKING LOTS MUST BE KEPT CLEAN AT ALL TIMES. PROVIDE SWEEPING ON A DAILY BASIS OR AS DIRECTED BY THE TOWN.
- 9) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION -- SEE DETAIL.
- 10) ALL DOWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.



MAP 65 LOT 299  
17,434 Sq.Ft.  
0.400 Ac.±

MAP 65 LOT 372  
20,062 Sq.Ft.  
0.46 Ac.±

MAP 65 LOT 387  
N/F JOHN JR., & DALE SYNNOTT  
P.O. BOX 211  
MIDDLEBOROUGH, MA 02346  
BOOK 5207 PAGE 285

MAP 65 LOT 1112  
31,683 Sq.Ft.  
0.72 Ac.±

MAP 65 LOT 1137  
N/F SEVEN HILL TRUST  
ERNESTO V. CAPARRATA, TRUSTEE  
195 LIBBEY PARKWAY, UNIT 2  
WEYMOUTH, MA 02189  
BOOK 37512 PAGE 70

**LEGEND**

○	UTILITY POLE	—	OVERHEAD SERVICE WIRES	—	PROP. CONTOUR ELEVATION
⊙	DRAIN MANHOLE	—	DOUBLE SOLID YELLOW LINE	—	PROP. SILT FENCE
⊙	SEWER MANHOLE	—	SINGLE SOLID WHITE LINE	C.O.	PROP. CLEANOUT
⊙	TELEPHONE MANHOLE	⊕	SIGN	CB-1	PROP. CATCH BASIN
⊙	CATCH BASIN	⊕	OBSERVATION WELL	DMH-1	PROP. DRAIN MANHOLE
—	WATER LINE	—	TREELINE	SMH-1	PROP. SEWER MANHOLE
—	WATER VALVE	—	CONTOUR ELEVATION		
—	FIRE HYDRANT	—	GAS LINE		
—	GAS VALVE				



**OWNERS OF RECORD:**

- MAP 65 LOT 299  
TOMI, LLC  
C/O Hylan Auto Sales  
90 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 32570 PAGE 63
- MAP 65 LOT 372  
EUGENE & CAROLINE WELDON  
147 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 10506 PAGE 2
- MAP 65 LOT 1112  
92 EAST GROVE STREET TRUST  
BRENDA J. WALANIS, TRUSTEE  
92 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 38430 PAGE 87



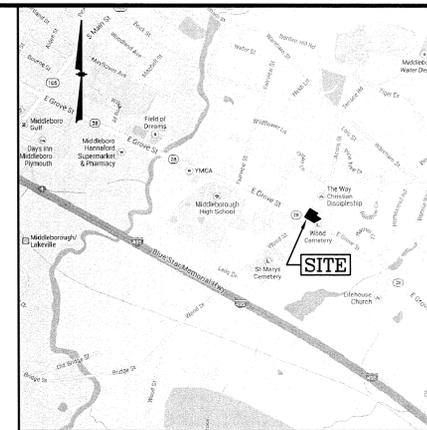
REVISIONS			69,179 SQUARE FEET
DATE	REV. BY	DESCRIPTION	
			1.588± ACRES
			V #X
			Store #X
			Gas Station#
			Facility #X

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**Cumberland Farms**  
CUMBERLAND FARMS INC.  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

**EROSION CONTROL PLAN** CFG6.0

SCALE: 1" = 20'  
DATE: DECEMBER 9, 2013  
FILE: 33473P.dwg  
DRAWN BY: MHF  
CHECKED BY:



**LOCATION MAP**  
(NOT TO SCALE)

MAP 65 LOT 349  
N/F RONALD & ANN SHOGAN  
149 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 4101 PAGE 44

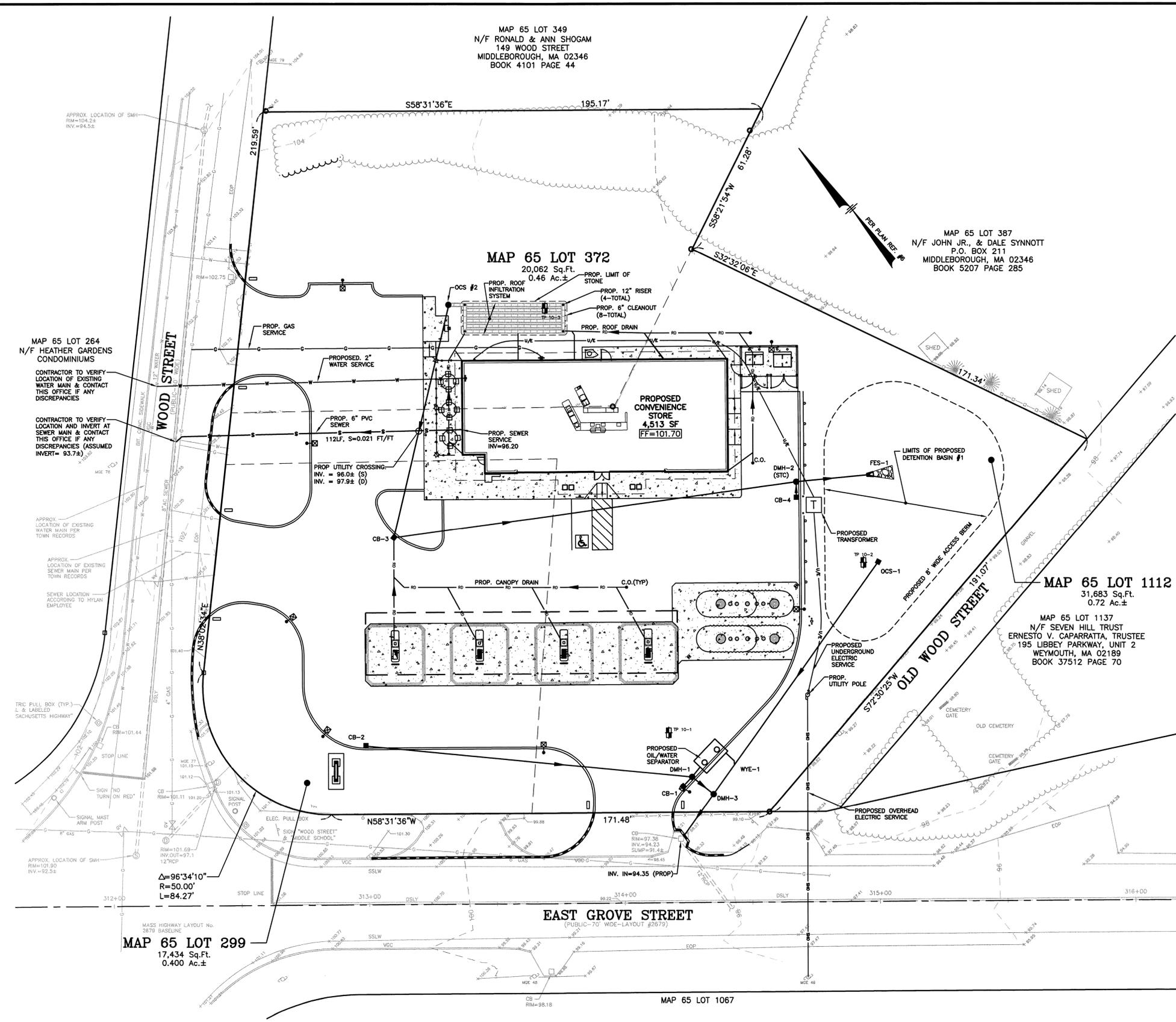
MAP 65 LOT 387  
N/F JOHN JR., & DALE SYNNOTT  
P.O. BOX 211  
MIDDLEBOROUGH, MA 02346  
BOOK 5207 PAGE 285

MAP 65 LOT 372  
20,062 Sq.Ft.  
0.46 Ac.±

MAP 65 LOT 1112  
31,683 Sq.Ft.  
0.72 Ac.±

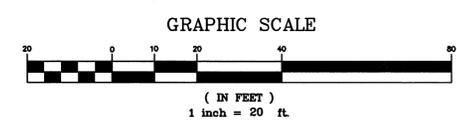
MAP 65 LOT 1137  
N/F SEVEN HILL TRUST  
ERNESTO V. CAPARRATA, TRUSTEE  
195 LIBBEY PARKWAY, UNIT 2  
WEYMOUTH, MA 02189  
BOOK 37512 PAGE 70

MAP 65 LOT 299  
17,434 Sq.Ft.  
0.40 Ac.±



**NOTES:**

- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- 3) ELEVATIONS ARE BASED ON USGS 1983 NAVD DATUM.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- 6) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 11) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO MASS DOT AND MIDDLEBOROUGH DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 12) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.



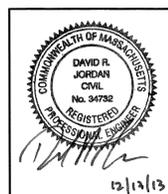
**LEGEND**

OVERHEAD SERVICE WIRES	UTILITY POLE	PROP. CONTOUR ELEVATION
VERTICAL GRANITE CURB	DRAIN MANHOLE	PROP. SILT FENCE
VERTICAL CONCRETE CURB	SEWER MANHOLE	C.O.
SIGN	TELEPHONE MANHOLE	CB-1
OBSERVATION WELL	CATCH BASIN	DMH-1
SPOT ELEVATION	WATER LINE	SMH-1
CONTOUR ELEVATION	GAS LINE	
LANDSCAPED	GAS VALVE	
UNDERGROUND ELECTRIC	WATER VALVE	
POST AND RAIL FENCE	FIRE HYDRANT	



**OWNERS OF RECORD:**

- MAP 65 LOT 299  
TOMI, LLC  
C/O HYLAN AUTO SALES  
90 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 32570 PAGE 63
- MAP 65 LOT 372  
EUGENE & CAROLINE WELDON  
147 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 10506 PAGE 2
- MAP 65 LOT 1112  
92 EAST GROVE STREET TRUST  
BRENDA J. WALANIS, TRUSTEE  
92 EAST GROVE STREET  
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BOOK 38430 PAGE 87



REVISIONS		
DATE	REV. BY	DESCRIPTION

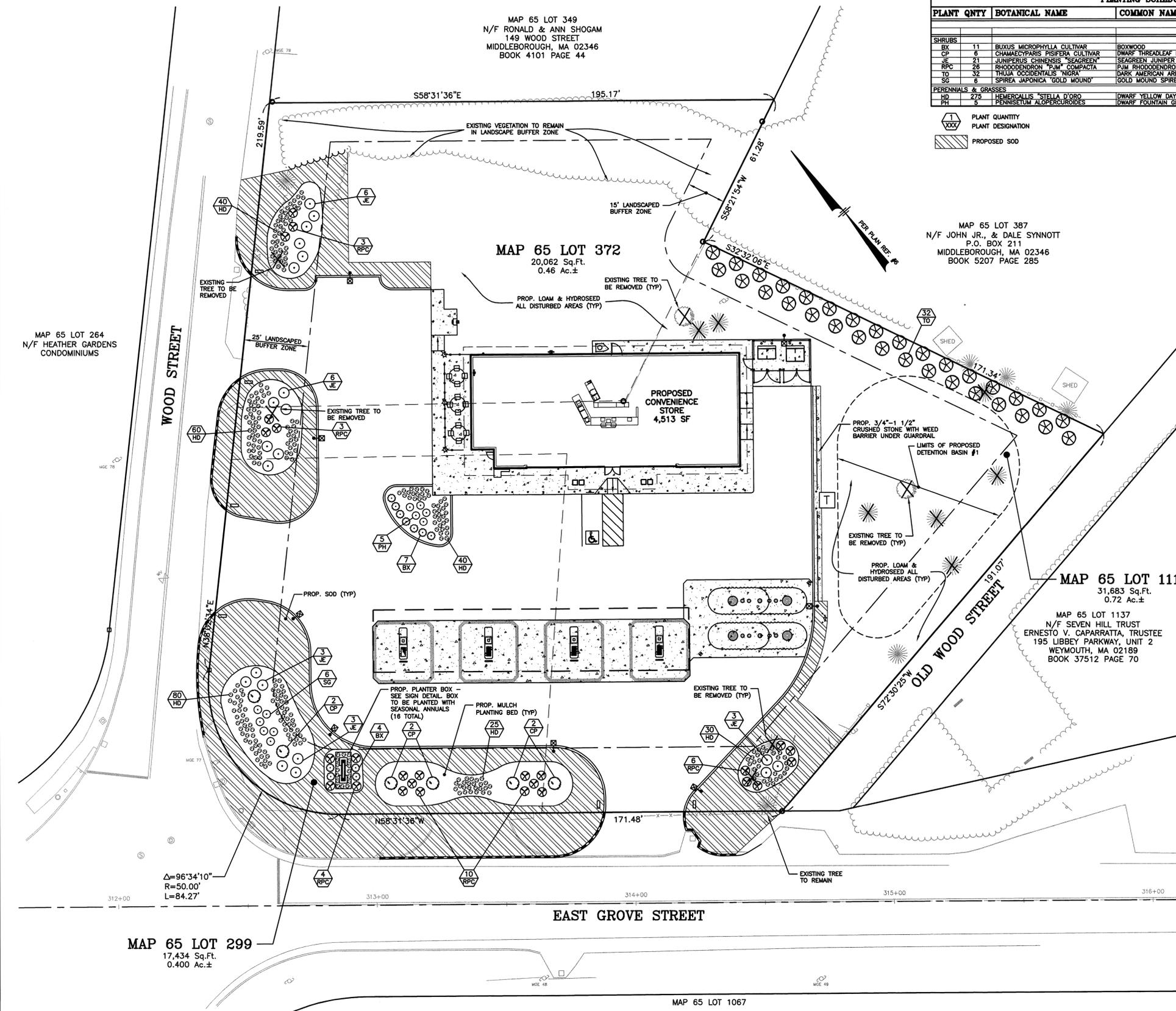
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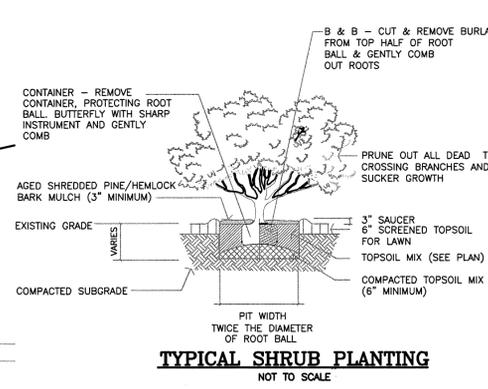
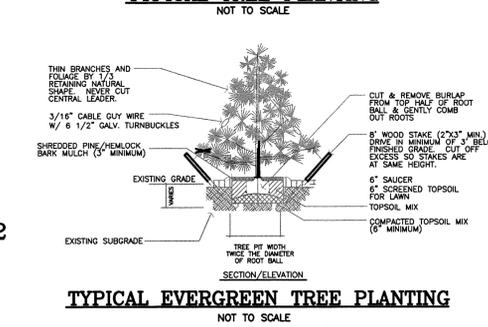
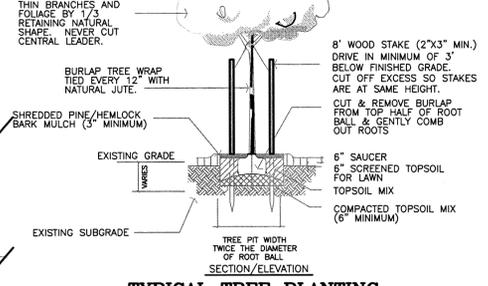
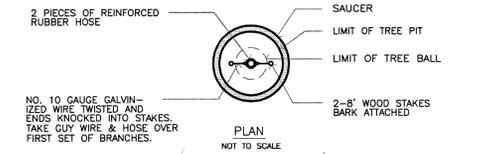
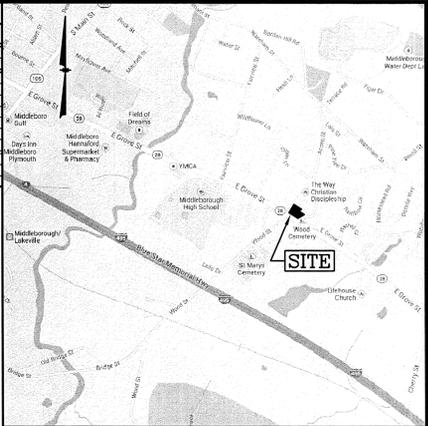
**Cumberland Farms Inc.**  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

**UTILITIES PLAN**  
SCALE: 1" = 20'  
DATE: DECEMBER 9, 2013  
FILE: 3347SP.dwg  
DRAWN BY: MHF  
CHECKED BY: CF7.0

I:\Projects\CA0\334713\3347SP.dwg UT 12/12/13 3:37pm ccc



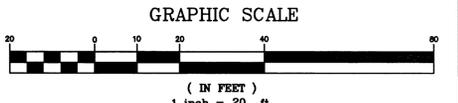
PLANTING SCHEDULE					
PLANT QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS	
<b>SHRUBS</b>					
BX	11	BUXUS MICROPHYLLA CULTIVAR	BOXWOOD	24" HT. MIN.	3' HT. MAX./"GREEN VELVET" OR SIMILAR
CP	6	CHAMAECYPARIS PISIFERA CULTIVAR	DWARF THREADEAF FALSECYPRESS	18-24" SPREAD	2' HT. MAX./GOLDEN-WIDE SPREADING ("FILIFERA ARUEA-NANA" OR SIMILAR)
JE	21	JUNIPERUS CHINENSIS "SEAGREEN"	SEAGREEN JUNIPER	36" HT. MIN.	4'-6" HT. MAX./FONTAIN LIKE HAIT
RPC	28	RHODODENDRON "PJM" COMPACTA	PJM RHODODENDRON COMPACT	24" HT. MIN.	3' HT. COMPACT GROWTH, BURGUNDY FOLIAGE
TO	32	THUJA OCCIDENTALIS "NIGRA"	DARK AMERICAN ARBORVITAE	6'-7' HT.	30' HT. MAX./LARGE UPRIGHT/SCREEN/HEDGE
SG	6	SPIREA JAPONICA "GOLD MOUND"	GOLD MOUND SPIREA	24" HT. MIN.	3' HT. MAX./GOLDEN FOLIAGE
<b>PERENNIALS &amp; GRASSES</b>					
HD	275	HEMERCALLIS "STELLA D'ORO"	DWARF YELLOW DAYLILLY	1 GAL.	18" O.C./GROUNDCOVER (STELLA D'ORO, RUBY STELLA, STELLA SUPREME MIX)
PH	5	PENNISETUM ALOPERCUROIDES	DWARF FOUNTAIN GRASS	1 GAL.	18" O.C./GROUNDCOVER ("HAMLIN" OR SIMILAR)



**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:  
LIMESTONE: 100 LBS./1,000 SQUARE FEET.  
FERTILIZER: 500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.  
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE  
**SEED MIX (SLOPES LESS THAN 4:1)**  
CREeping RED FESCUE 20 LBS/ACRE  
TALL FESCUE 15  
PERENNIAL RYEGRASS 5  
42  
**SLOPE MIX (SLOPES GREATER THAN 4:1)**  
CREeping RED FESCUE 20  
TALL FESCUE 20  
BIRDFOOT TREFOIL 8  
48
- FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION CONTROL PLAN.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER AND TOWN PRIOR TO INSTALLATION.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- EXPOSED SOILS SHALL BE SEEDED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED, SOD AREAS AND SHRUB BEDS. THE SYSTEM SHALL INCLUDE A TIMER WITH RAIN SENSOR AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.



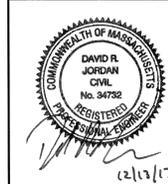
**LEGEND**

○	UTILITY POLE	—	OVERHEAD SERVICE WIRES
⊙	DRAIN MANHOLE	==	DOUBLE SOLID YELLOW LINE
⊙	SEWER MANHOLE	---	SINGLE SOLID WHITE LINE
⊙	TELEPHONE MANHOLE	+	SIGN
□	CATCH BASIN	⊕	OBSERVATION WELL
—	WATER LINE	—	TREELINE
—	WATER VALVE	—	CONTOUR ELEVATION
—	GAS VALVE	—	GAS LINE
—	FIRE HYDRANT	①	NUMBER OF PARKING SPACES

**DIG SAFE**  
MA-ME-NH-RI-VT  
1-888-DIGSAFE  
NY-1-800-955-7862  
CT-1-800-922-4455

**OWNERS OF RECORD:**

MAP 65 LOT 299 TOMI, LLC C/O Hylan Auto Sales 90 East Grove Street Middleborough, MA 02346 BOOK 32570 PAGE 63	MAP 65 LOT 372 EUGENE & CAROLINE WELDON 147 WOOD STREET MIDDLEBOROUGH, MA 02346 BOOK 10506 PAGE 2	MAP 65 LOT 1112 N/F SEVEN HILL TRUST ERNESTO V. CAPARRATTA, TRUSTEE 195 LIBBEY PARKWAY, UNIT 2 WEYMOUTH, MA 02189 BOOK 37512 PAGE 70
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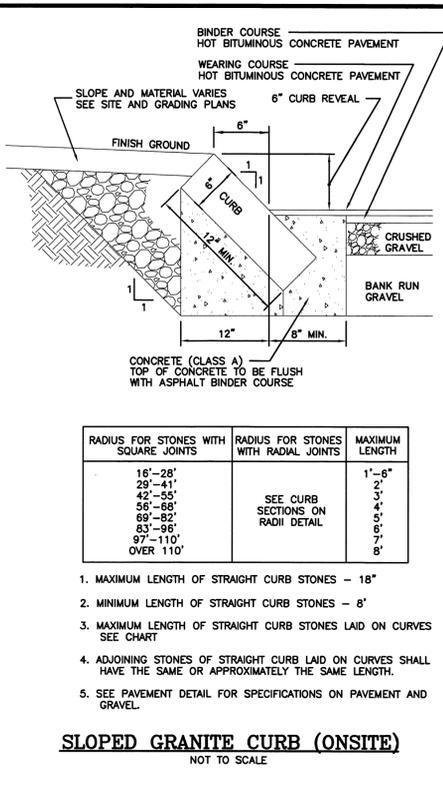
REVISIONS		
DATE	REV. BY.	DESCRIPTION

69,179 SQUARE FEET
1.588± ACRES
V #X
Store #X
Gas Station#
Facility #X

**MHF Design Consultants, Inc.**  
44 Siles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
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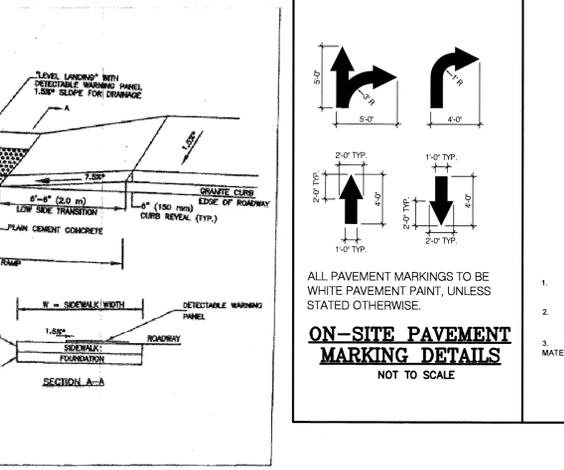
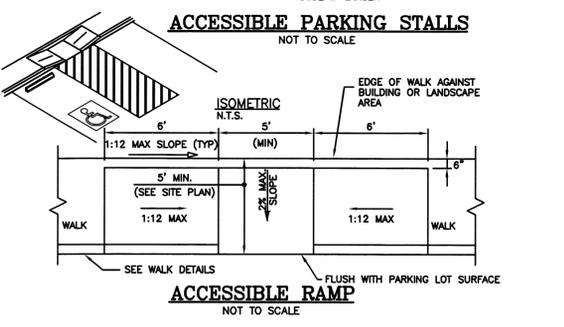
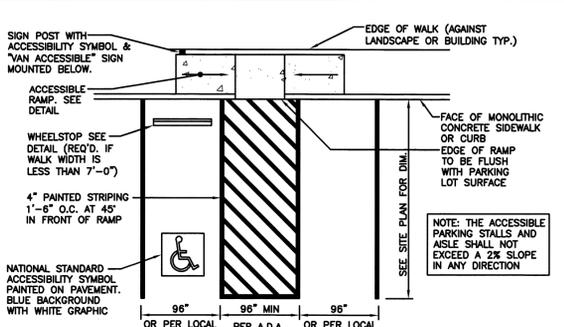
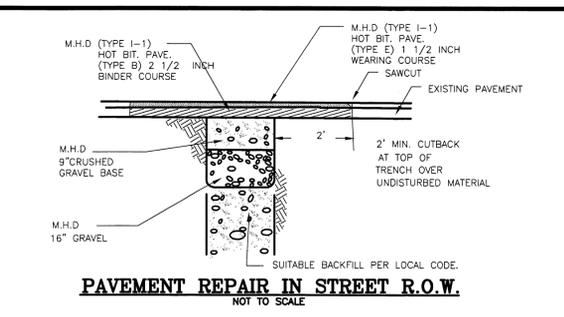
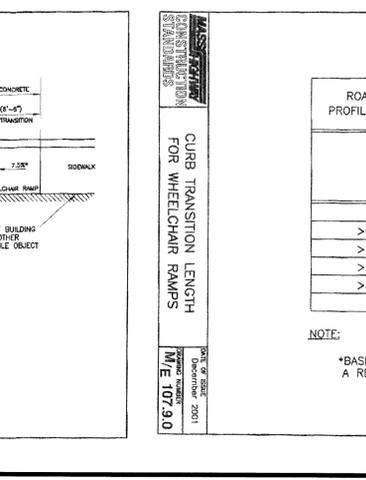
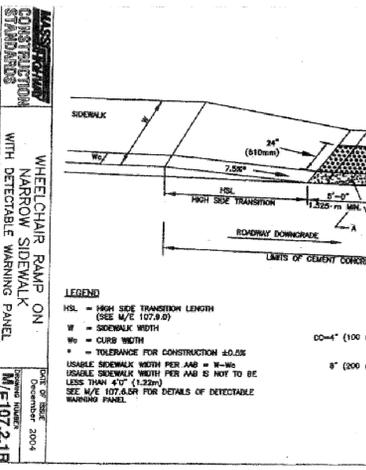
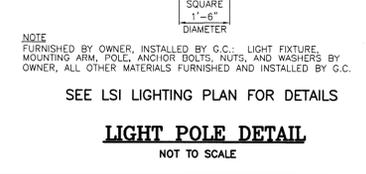
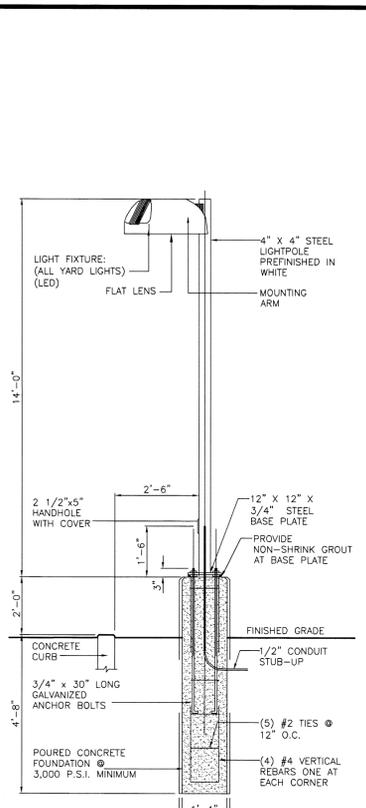
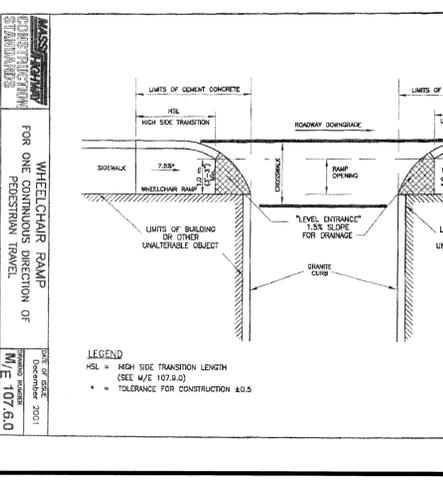
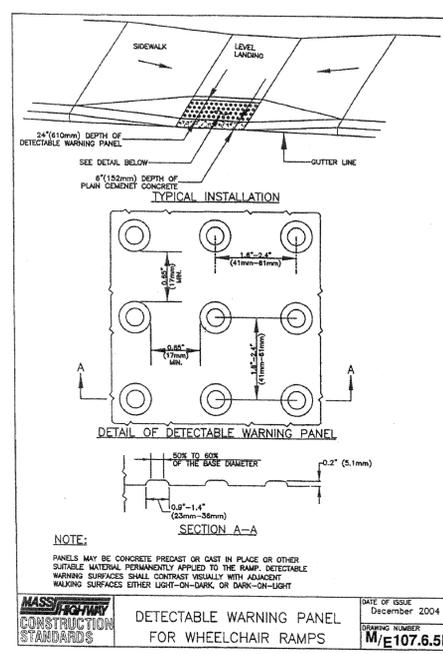
**Cumberland Farms Inc.**  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

**LANDSCAPE PLAN**  
SCALE: 1" = 20'  
DATE: DECEMBER 9, 2013  
FILE: 33475P.dwg  
DRAWN BY: MHF  
CHECKED BY: CFG8.0



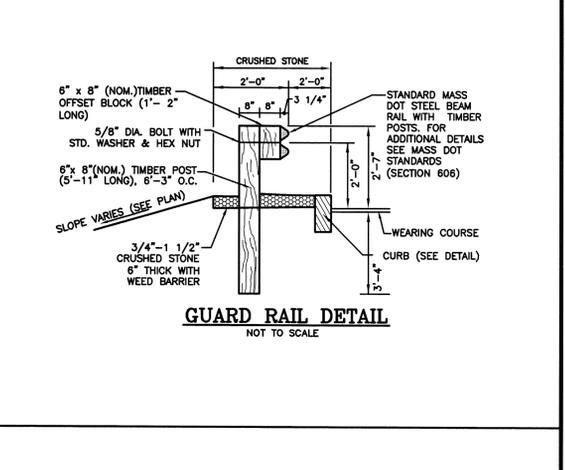
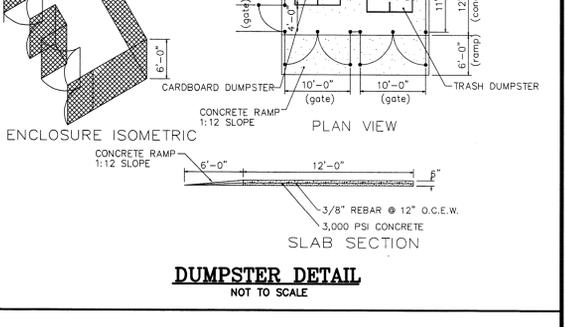
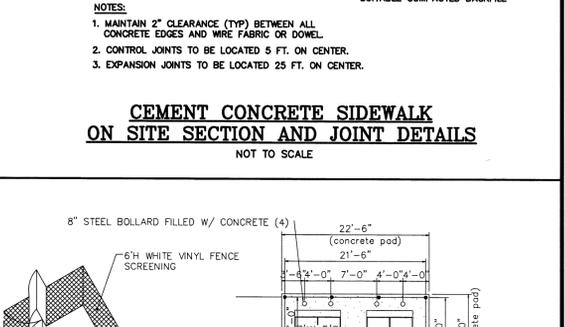
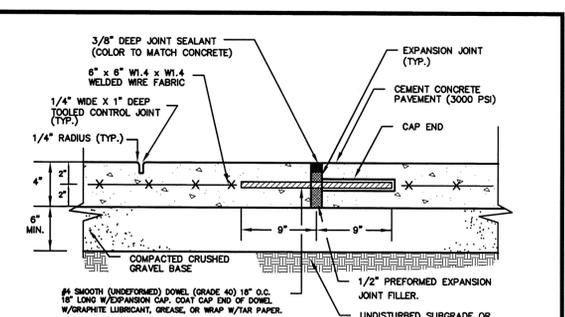
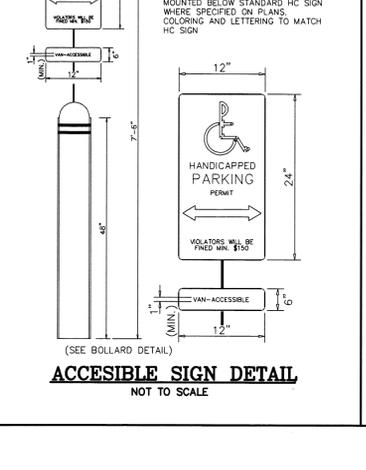
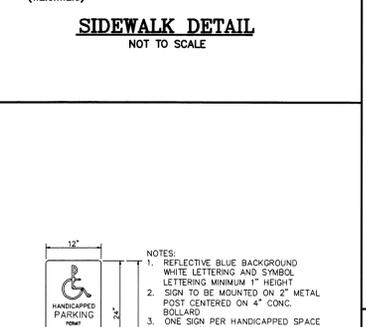
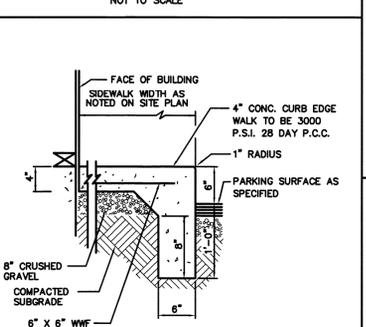
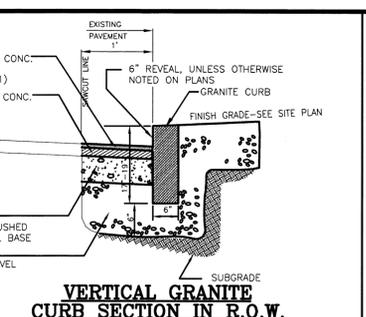
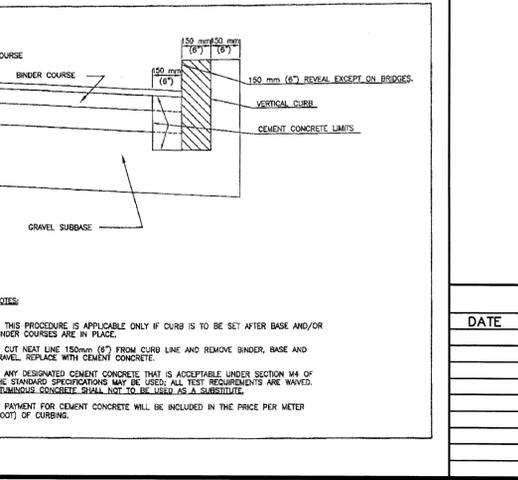
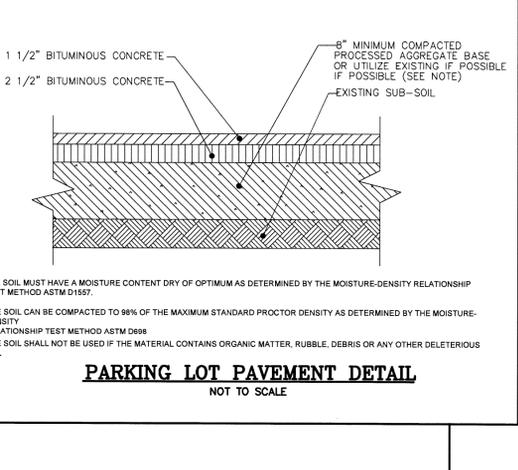
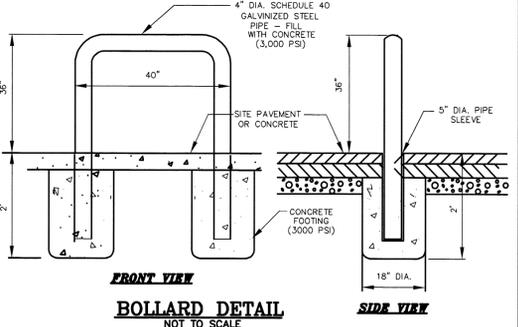
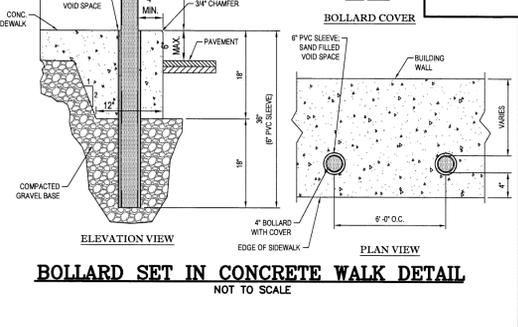
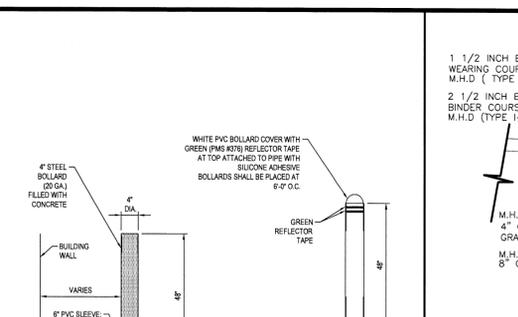
RADIUS FOR STONES WITH SQUARE JOINTS	RADIUS FOR STONES WITH RADIAL JOINTS	MAXIMUM LENGTH
18'-28'		1'-6"
29'-41'		2'
42'-55'	SEE CURB SECTIONS ON RADII DETAIL	3'
56'-68'		4'
69'-82'		5'
83'-96'		6'
97'-110'		7'
OVER 110'		8'

- MAXIMUM LENGTH OF STRAIGHT CURB STONES - 18'
- MINIMUM LENGTH OF STRAIGHT CURB STONES - 6'
- MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES SEE CHART
- ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
- SEE PAVEMENT DETAIL FOR SPECIFICATIONS ON PAVEMENT AND GRAVEL



ROADWAY PROFILE GRADE	*HIGH SIDE TRANSITION LENGTH	
%	METRIC UNITS	ENGLISH UNITS
0	2.0 m	6'-6"
>0=>1	2.3 m	7'-8"
>1=>2	2.7 m	9'-0"
>2=>3	3.3 m	11'-0"
>3=>4	4.3 m	14'-0"
>4	4.6 m Max	15'-0" Max

NOTE: \*BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 150 mm (6").



REVISIONS		
DATE	REV. BY.	DESCRIPTION

69,179 SQUARE FEET  
1.588 ACRES  
V #X  
Gas Station #  
Facility #X

**MHF Design Consultants, Inc.**  
90 EAST GROVE STREET  
MIDDLEBOROUGH, MA

**Cumberland Farms**  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

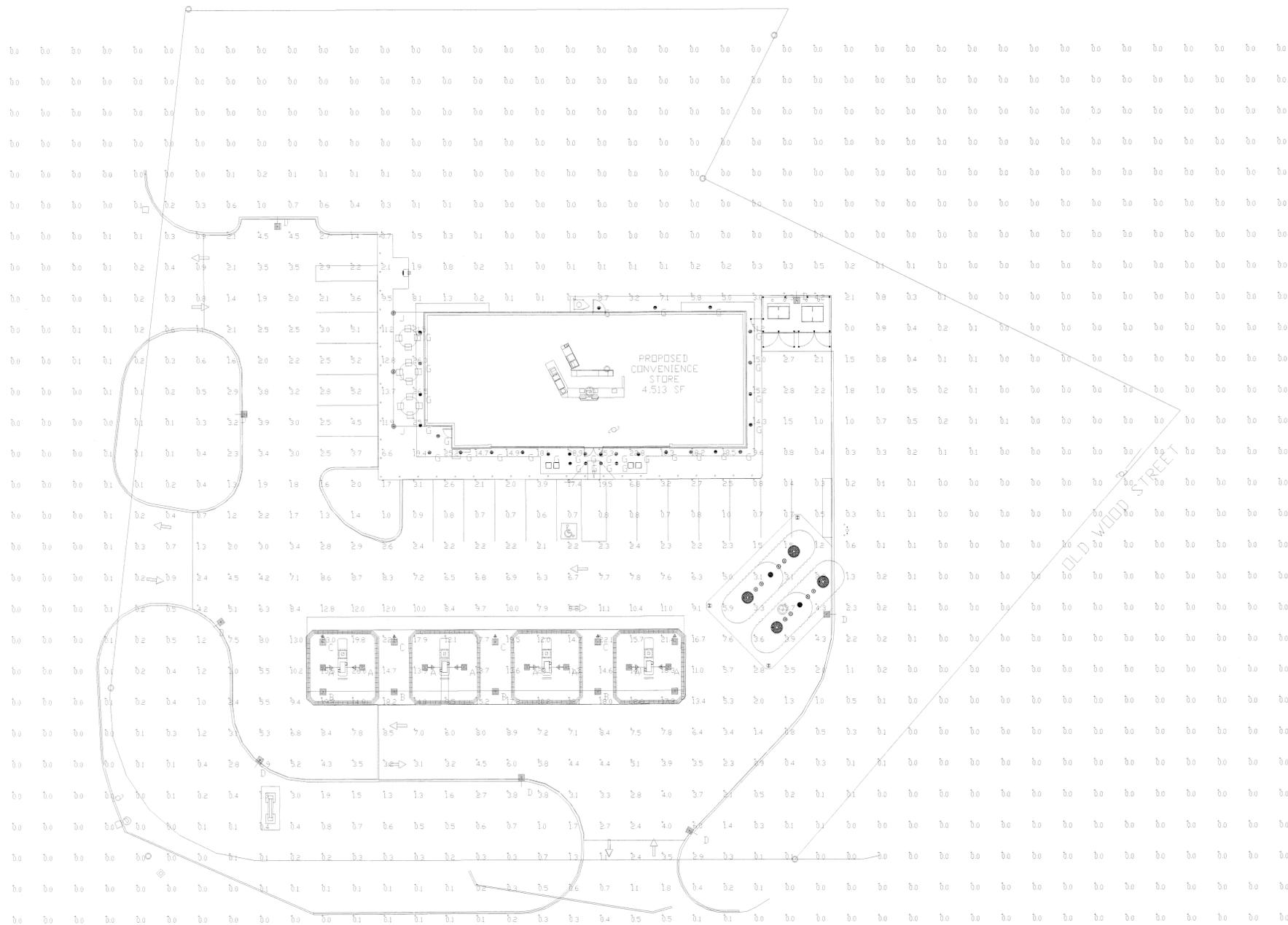
44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
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SCALE: AS NOTED  
DATE: DECEMBER 9, 2013  
FILE: 334701.DWG  
DRAWN BY: RGW  
CHECKED BY: CFG9.0

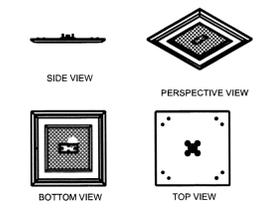
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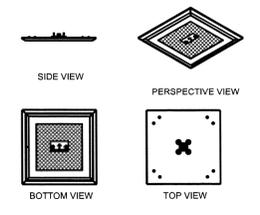




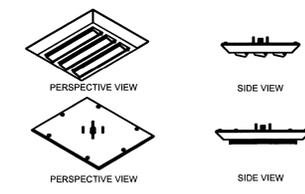
**CRS-SC-LED-84**  
LED Crossover Gold Symmetric Canopy Light



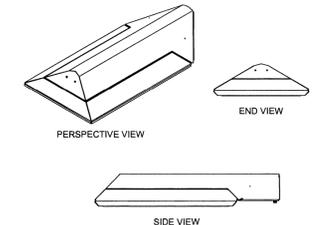
**CRS-AC-LED-84**  
LED Crossover Gold Asymmetric Canopy Light



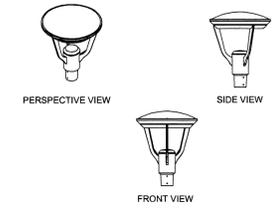
**CRO3-FO**  
LED Crossover Focus Light



**XAM**  
LED Crossover Area Light



**XENM3 PT**  
LED Crossover Area Light



Initial Footcandle level at grade.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
VERTICAL PUMP	Illuminance	Fc	49.47	90.7	19.4	2.55	4.68
CANOPY	Illuminance	Fc	16.66	26.0	10.2	1.63	2.55
INSIDE CURB	Illuminance	Fc	4.48	19.5	0.3	14.93	65.00

NOTE: ALL 14' POLES TO BE MOUNTED ON CONCRETE PEDESTALS 2' ABOVE GRADE, FOR A TOTAL MOUNTING HEIGHT OF 16'.

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
[Symbol]	8	A	SINGLE	CRO3-FO-LED-30-CW-UE	1.000	N.A.	2674	36.1
[Symbol]	5	B	SINGLE	CRS-SC-LED-84-SS-CW-UE	1.000	N.A.	10747	97
[Symbol]	5	C	SINGLE	CRS-AC-LED-84-SS-CW-UE	1.000	N.A.	10367	98
[Symbol]	8	D	SINGLE	XAM3-FT-LED-119-350-CW-UE-HSS13-14'POLE+2'BASE	1.000	N.A.	6576	138
[Symbol]	30	G	SINGLE	DM6LED27-R6LED40KWCS (FIXTURE BY OTHER)	1.000	N.A.	1738	27
[Symbol]	3	J	SINGLE	XENM3-PT-5-LED-63-450-CW-UE-7MH	1.000	N.A.	5027	96.6

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions. This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts  
Total Watts = 3467.6

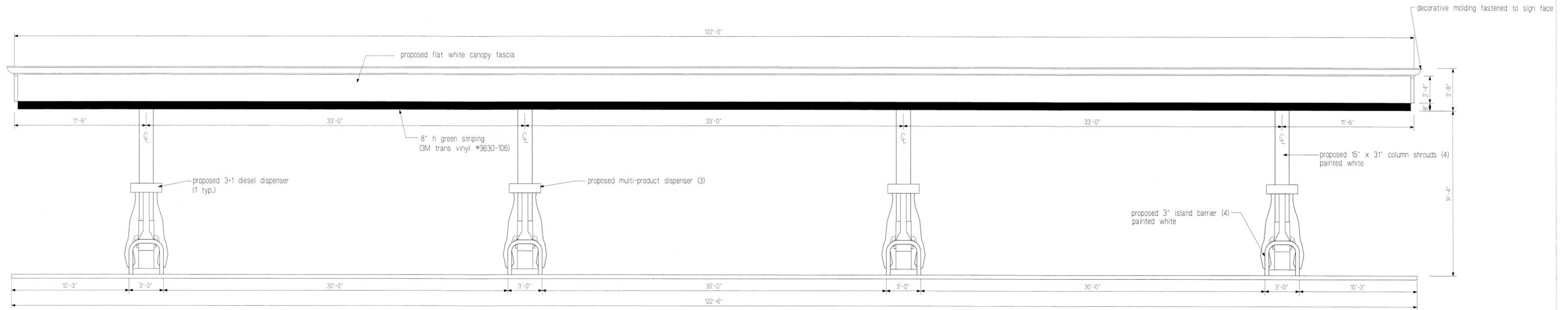


LIGHTING PROPOSAL LD-118409

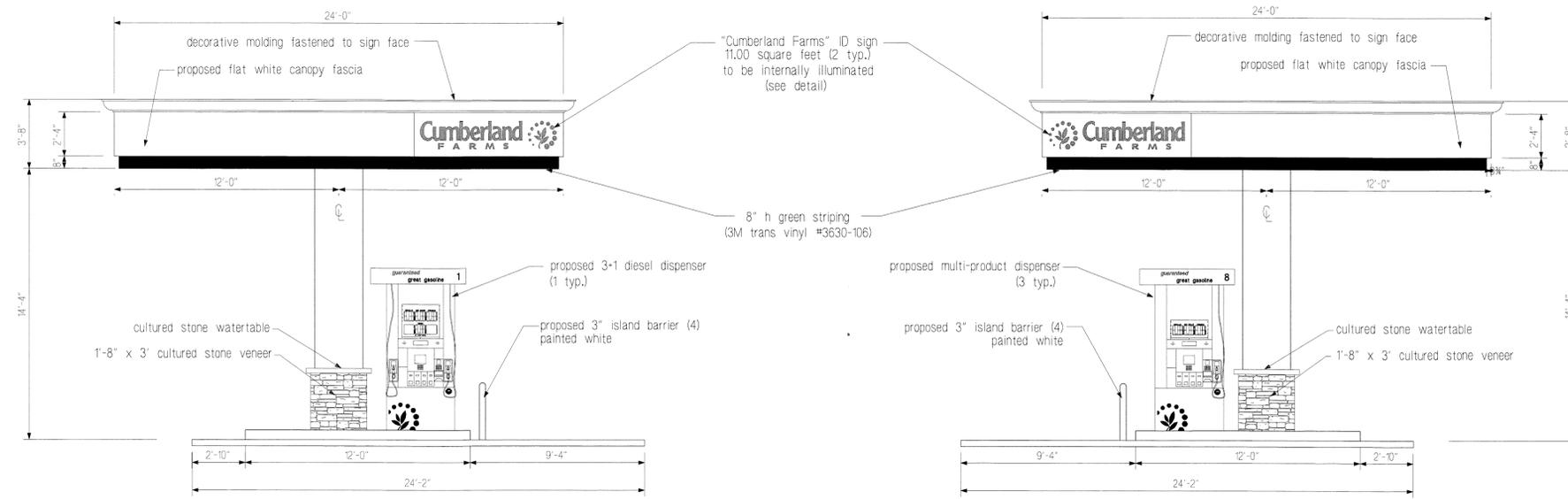
CUMBERLAND FARMS  
MIDDLEBROUGH, MA

BY: ACB DATE: 10/2/13 REV: 0 CFG10.0

SCALE: 1"=20'



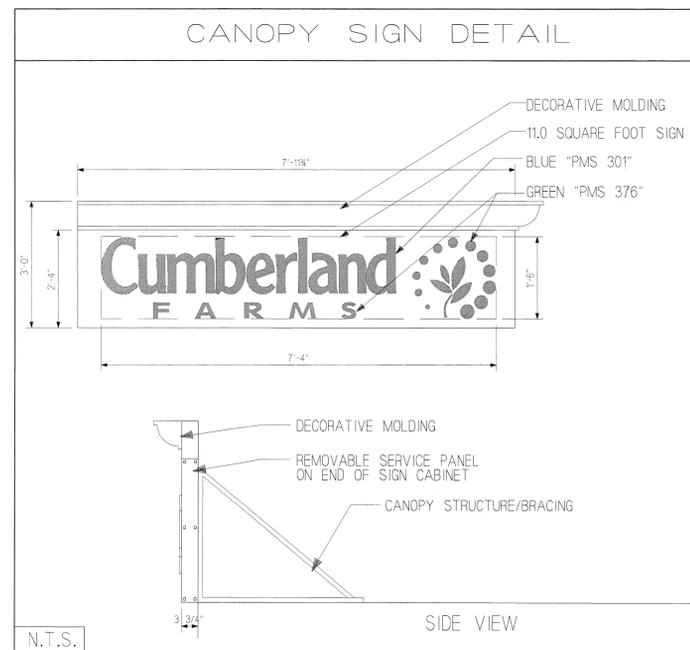
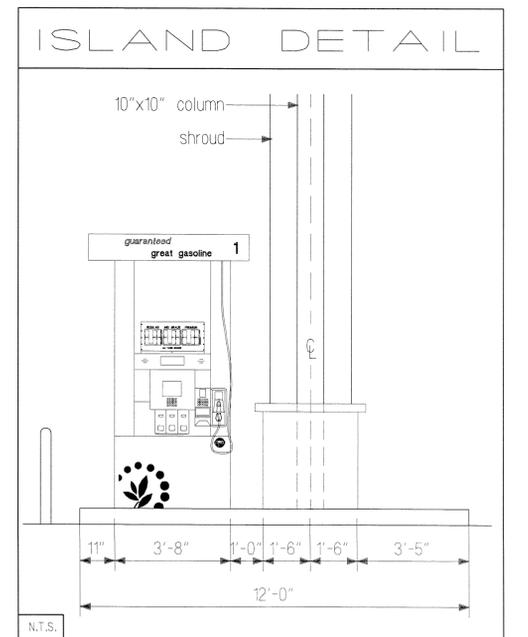
FRONT ELEVATION



LEFT ELEVATION

RIGHT ELEVATION

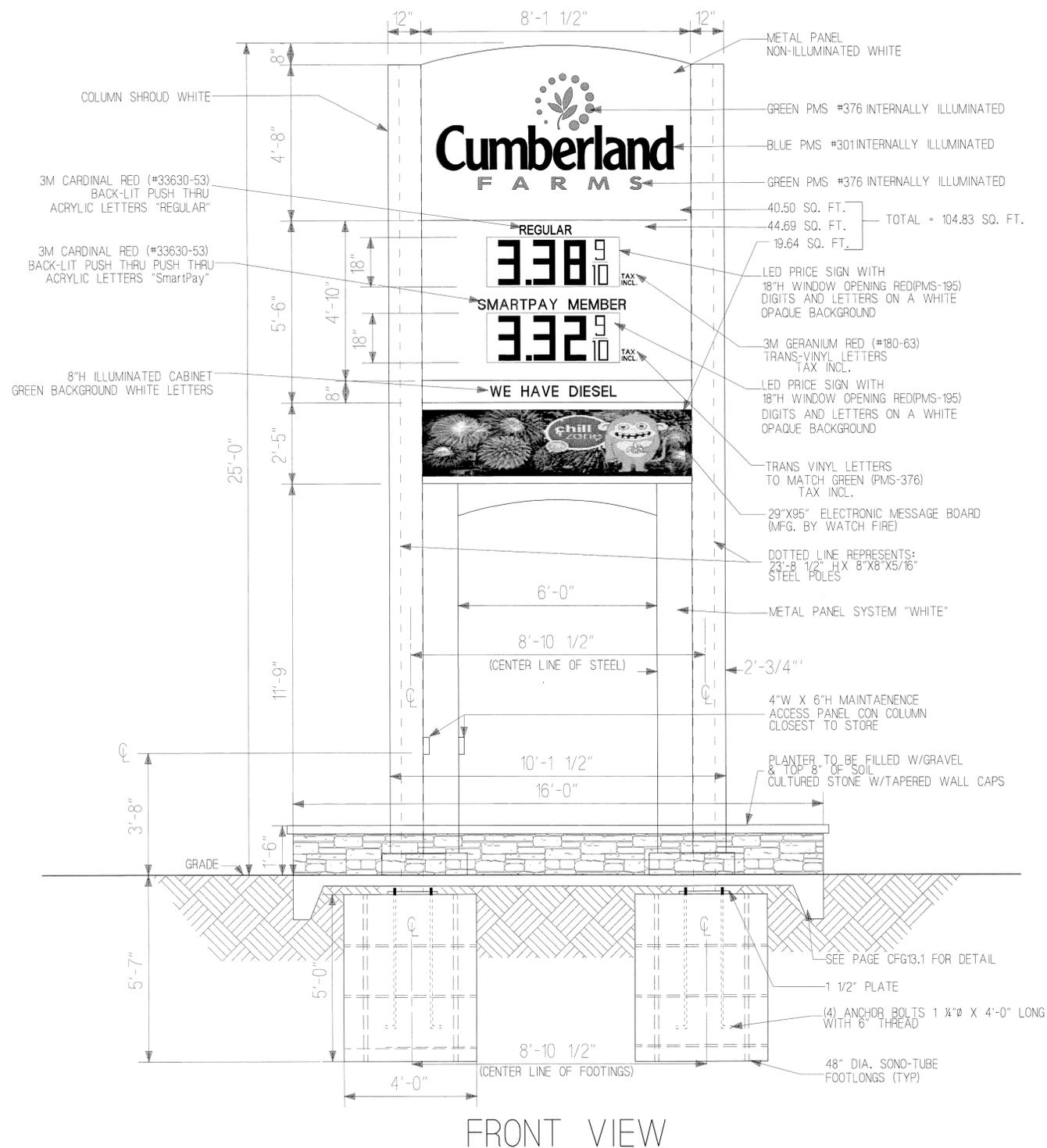
NOTE:  
FOR FINAL P.L.B. PLACEMENT REFER  
TO APPROVED FIRE SUPPRESSION PLAN



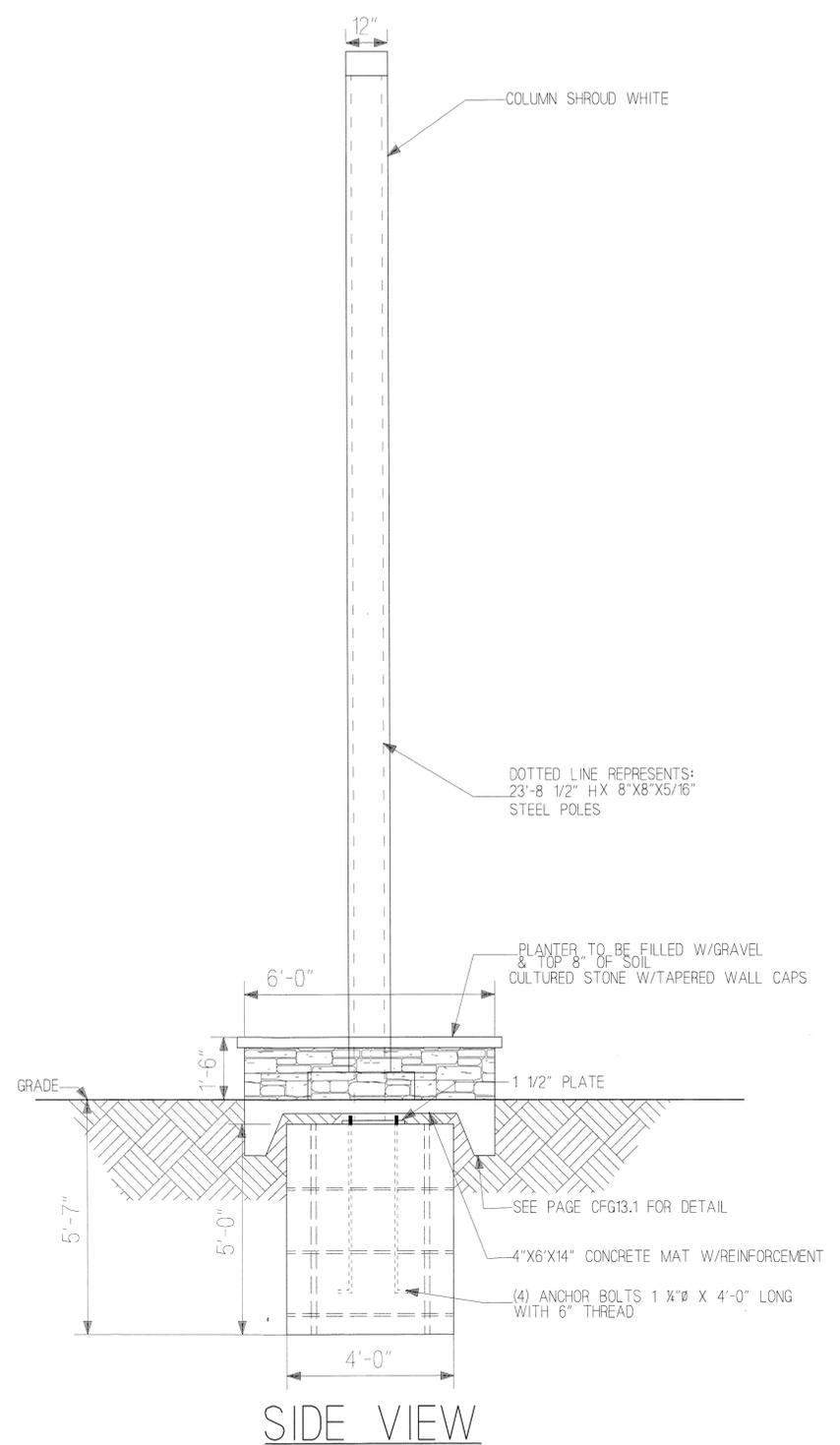
REVISIONS			V# NEW	EAST GROVE STREET @ WOOD STREET	
DATE	REV. BY.	DESCRIPTION	Store# NEW	MIDDLEBOROUGH, MASSACHUSETTS	
			Gas Station# NEW		

<p>CUMBERLAND FARMS, INC. 100 Crossing Boulevard Framingham, Massachusetts 01702</p>	SCALE: 1/4" = 1'-0"
	DATE: 07-11-2013
FILE: x:canopy/middleboro	DRAWN BY: DB
CHECKED BY:	CFG12.0
PROPOSED CANOPY ELEVATIONS	



FRONT VIEW



SIDE VIEW

REVISIONS			V# NEW	MIDDLEBOROUGH, MASSACHUSETTS
DATE	REV. BY.	DESCRIPTION	Store# NEW	
10-09-13	D.B.	SmartPAY MEMBER	Gas Station# NEW	EAST GROVE STREET @ WOOD STREET CUMBERLAND FARMS, INC. 100 Crossing Boulevard Framingham, Massachusetts 01702 <b>Cumberland FARMS</b>
				SCALE: 5/16" = 1'-0"
				DATE: 07-12-2013
				FILESIGN.pj/middleborough.dwg
				DRAWN BY: D.B.
				CHECKED BY:
PROPOSED SIGN DRAWING				CFG 13.0

MAP 65 LOT 349  
N/F RONALD & ANN SHOGAM  
149 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 4101 PAGE 44

MAP 65 LOT 372  
20,062 Sq.Ft.  
0.46 Ac.±

MAP 65 LOT 387  
N/F JOHN JR., & DALE SYNNOTT  
P.O. BOX 211  
MIDDLEBOROUGH, MA 02346  
BOOK 5207 PAGE 285

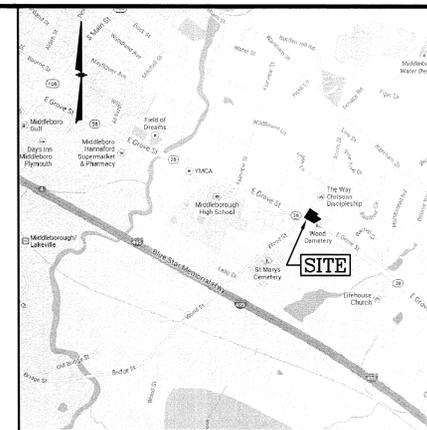
MAP 65 LOT 264  
N/F HEATHER GARDENS  
CONDOMINIUMS

MAP 65 LOT 1112  
31,683 Sq.Ft.  
0.72 Ac.±

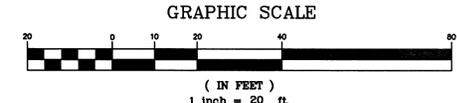
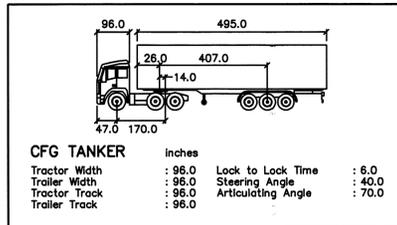
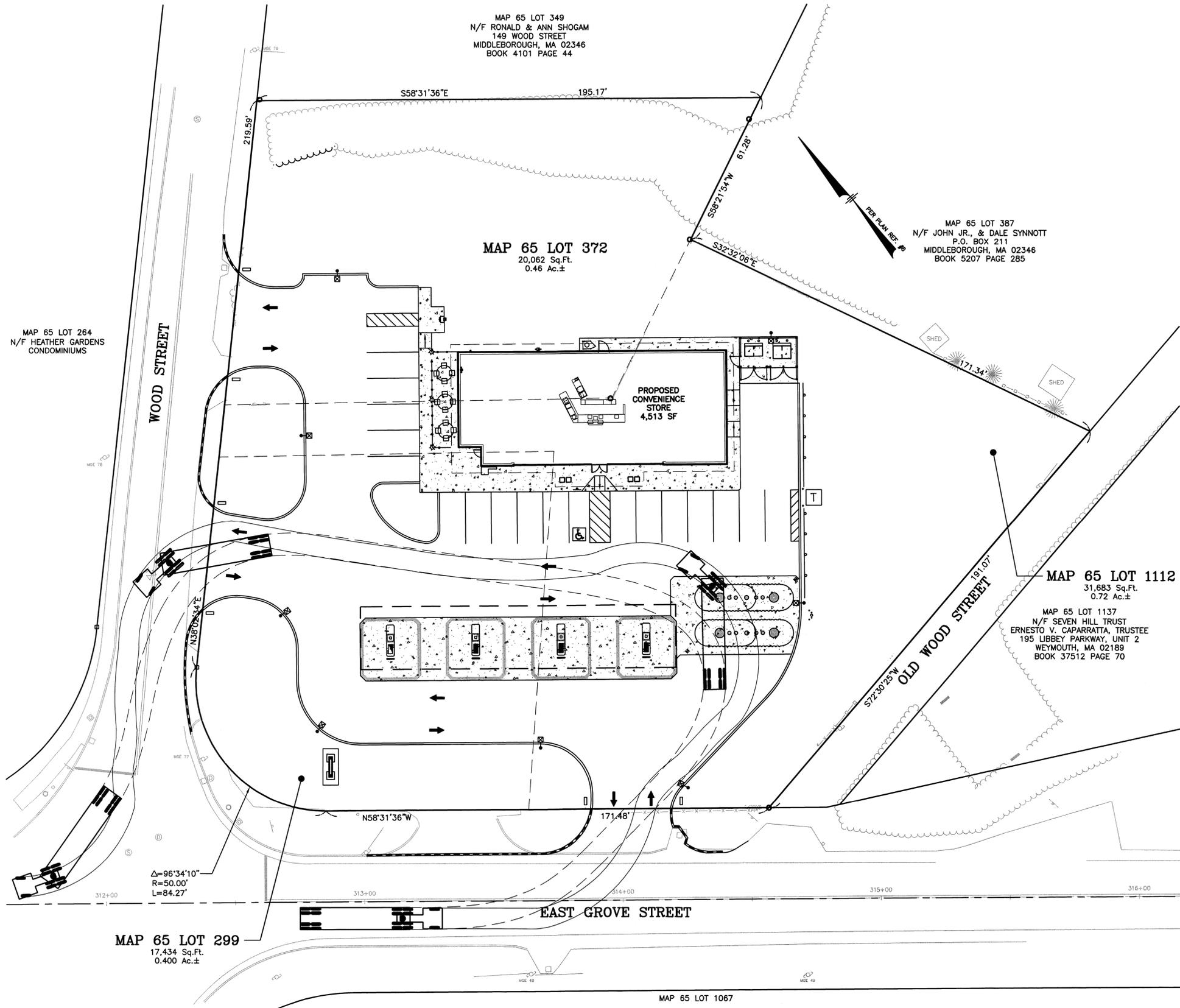
MAP 65 LOT 1137  
N/F SEVEN HILL TRUST  
ERNESTO V. CAPARRATTA, TRUSTEE  
195 LIBBEY PARKWAY, UNIT 2  
WEYMOUTH, MA 02189  
BOOK 37512 PAGE 70

MAP 65 LOT 299  
17,434 Sq.Ft.  
0.40 Ac.±

MAP 65 LOT 1067



LOCATION MAP  
(NOT TO SCALE)



**LEGEND**

OVERHEAD SERVICE WIRES	UTILITY POLE
VERTICAL GRANITE CURB	DRAIN MANHOLE
VERTICAL CONCRETE CURB	SEWER MANHOLE
SIGN	TELEPHONE MANHOLE
OBSERVATION WELL	CATCH BASIN
SPOT ELEVATION	WATER LINE
CONTOUR ELEVATION	GAS LINE
LANDSCAPED	GAS VALVE
UNDERGROUND ELECTRIC	WATER VALVE
POST AND RAIL FENCE	FIRE HYDRANT

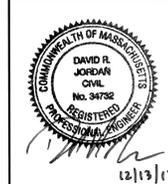


**OWNERS OF RECORD:**

MAP 65 LOT 299  
TOMI, LLC  
C/O Hylan Auto Sales  
90 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 32570 PAGE 63

MAP 65 LOT 372  
EUGENE & CAROLINE WELDON  
147 WOOD STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 10506 PAGE 2

MAP 65 LOT 1112  
92 EAST GROVE STREET TRUST  
BRENDA J. WALANIS, TRUSTEE  
92 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
BOOK 38430 PAGE 87



REVISIONS		
DATE	REV. BY.	DESCRIPTION

69,179 SQUARE FEET
1.588± ACRES
V #X
Store #X
Gas Station#
Facility #X

**MHF Design Consultants, Inc.**  
44 Silles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
www.mhfdesign.com

**Cumberland Farms**  
CUMBERLAND FARMS INC.  
100 CROSSING BLVD.  
FRAMINGHAM, MA 01702

**TRUCK TURN PLAN**  
CFG16.0

SCALE: 1" = 20'  
DATE: DECEMBER 9, 2013  
FILE: 3347SP.dwg  
DRAWN BY: MHF  
CHECKED BY: MHF

F:\Projects\CA0\3347SP.dwg TTP 12/12/13 4:03pm ecc

FINISH SCHEDULE					
ANNO #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINTEE	-	PT-5	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTEE	-	NOT USED	NOT USED
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS	-	SMOOTH WHITE FINISH	16"x10" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH
VS-1	VINYL SIDING	CERTAINTEE	MONOGRAM 46L DOUBLE 4"	HERRINGBONE	ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
CS-1	CULTURED STONE	OWENS CORNING CULTURED STONE, LLC	CSV-2028 SOUTHERN LEDGESTONE	FOG	INSTALL DRYSTACK ONLY; SUPPLIED BY CFI
SHNG-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTEE LANDMARK	LANDMARK	COBBLESTONE GRAY	30-YEAR WARRANTY
GU-1	ALUMINUM GUTTER SYSTEM	ALCOA	TRADITIONAL SELECT S-6	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D.

5 FINISH SCHEDULE  
A3.1 SCALE: NTS

**FRONT WALL SIGNAGE SPECIFICATION**

CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN BOX  
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR  
SIGN AREA = 37.6 SQ.FT



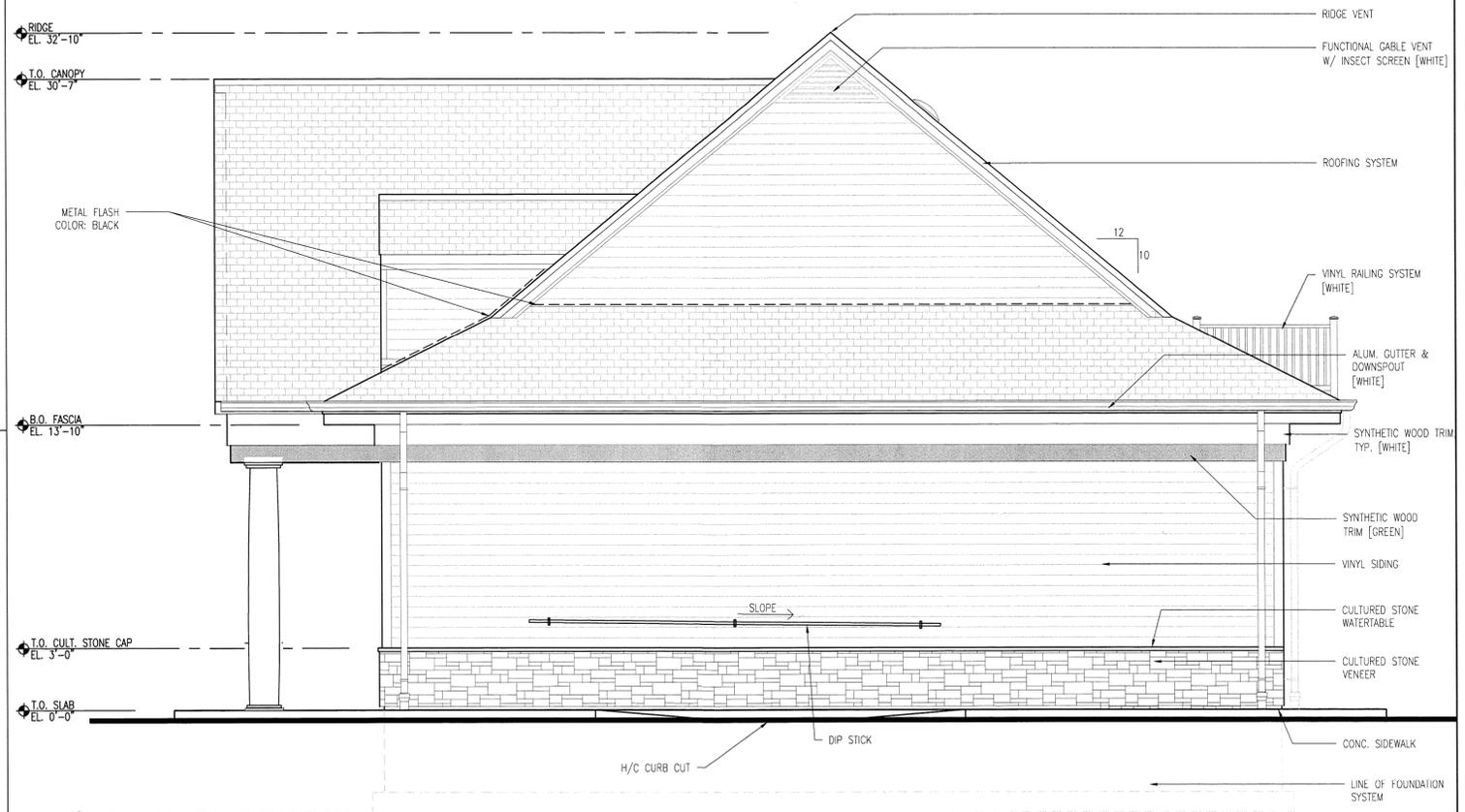
4 FRONT WALL SIGNAGE DETAIL  
A3.1 SCALE: 1/4" = 1'-0"

**SIDE WALL SIGNAGE SPECIFICATION**

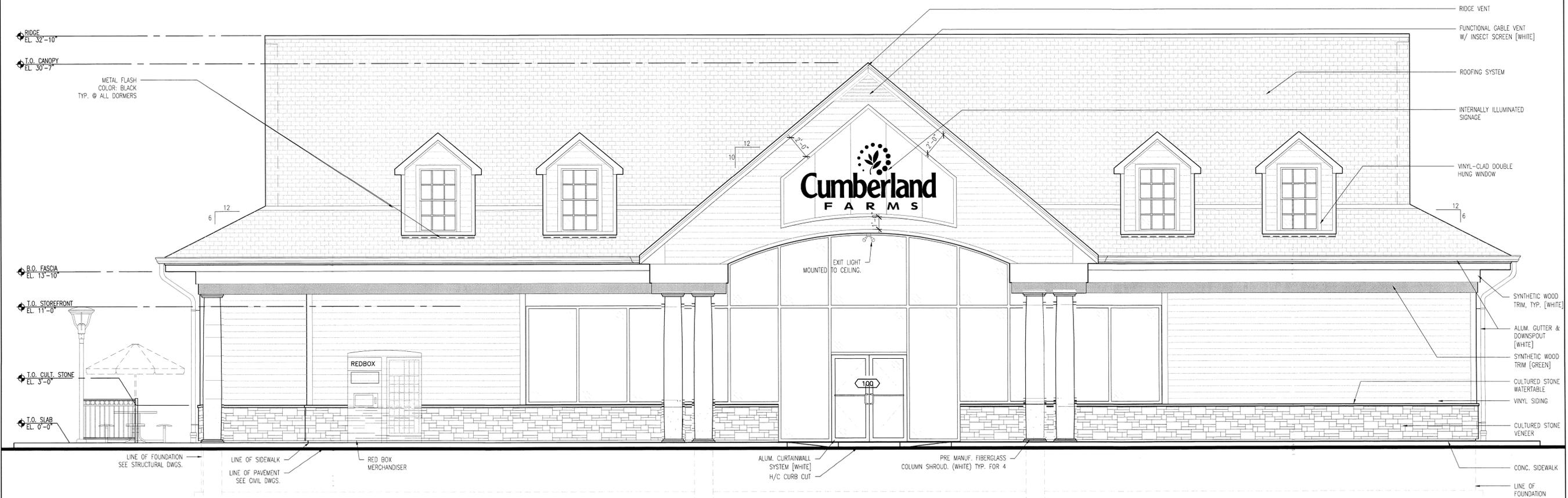
CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN BOX  
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR  
SIGN AREA = 27.8 SQ.FT



3 SIDE WALL SIGNAGE DETAIL  
A3.1 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"

Project Title  
New Construction:



87 East Grove Street  
Middleborough, MA 02346

Owner  
Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, Ma  
tel 508 271 6624

Architect  
**ALLEVATO**  
Allevato Architects Inc  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

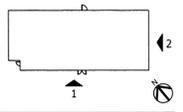
Seal

Consultant

Revisions

No.	Date	Issued for
1	10/07/13	SD SUBMISSION
2	11/22/13	SD SUBMISSION

Key Plan



Title  
**EXTERIOR ELEVATIONS**

Date: 11/22/13

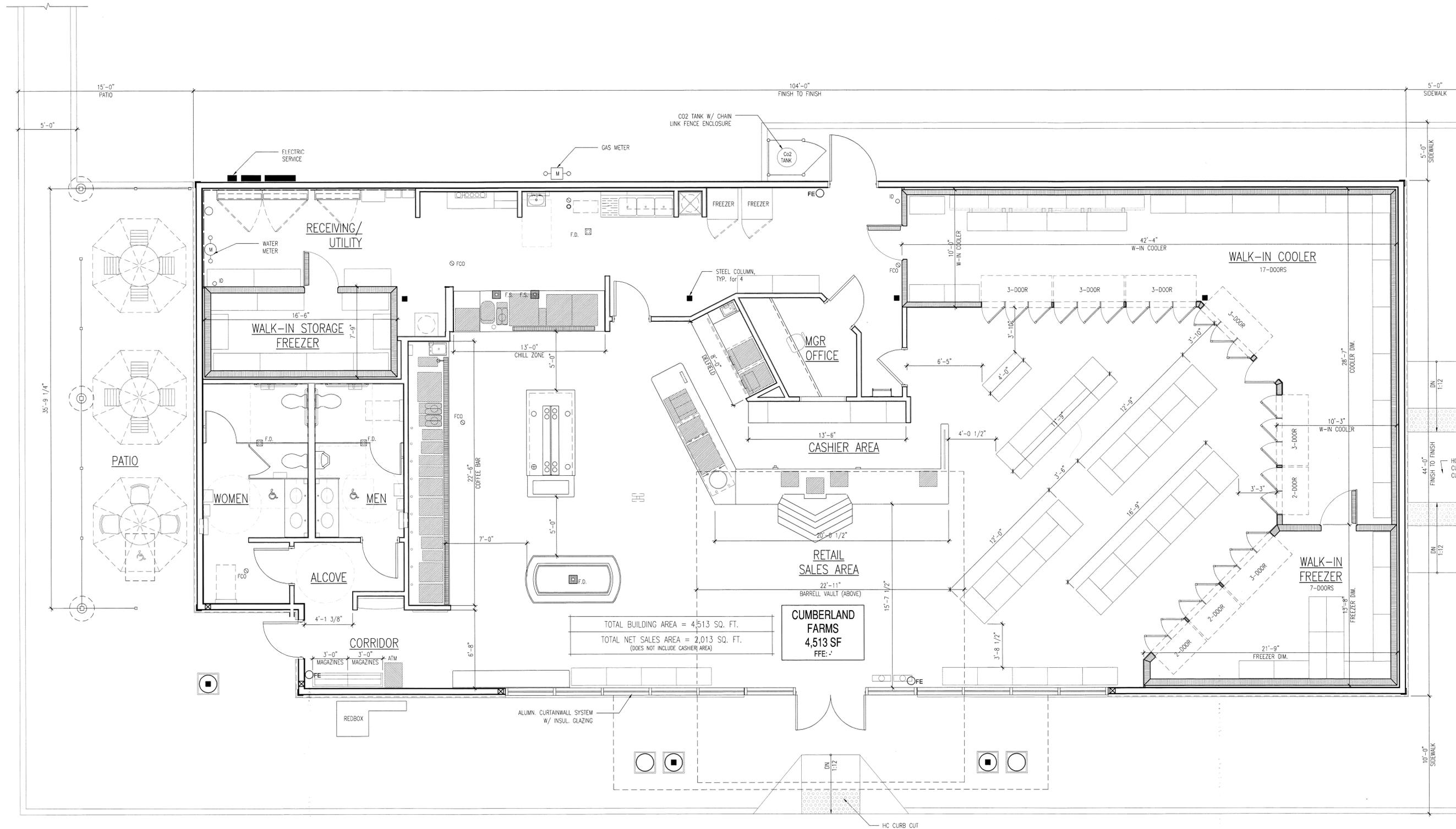
Drawing No.

**A3.1**

Project No. 1300.62



No.	Date	Issued for
1	10/07/13	SD SUBMISSION
2	11/22/13	SD SUBMISSION



TOTAL BUILDING AREA = 4,513 SQ. FT.  
 TOTAL NET SALES AREA = 2,013 SQ. FT.  
 (DOES NOT INCLUDE CASHIER AREA)

**CUMBERLAND FARMS**  
 4,513 SF  
 FFE: -

